

# **A G E N D A**

## **Architectural Review Board**

**November 19, 2014**

**Council Auditorium, City Hall**

### **ARCHITECTURAL REVIEW BOARD MEMBERS**

Mr. Walter L. Bush, Jr., Chairman

Ms. Elizabeth Brown, Vice-Chairman

Mr. David Payne

Mr. Tony Hickman

Rev. Willie Welch

Mr. Cedric Campbell

Mr. John Foshee

Mr. Jon Hayden

**PLANNING CONTROLS DIVISION**

**I. Approval of the Actions from the October 28, 2014, meeting**

**II. Full Review Items**

<b><u>Item</u></b>	<b><u>Petitioner</u></b>	<b><u>Historic District</u></b>	<b><u>Location</u></b>
1.	Julie Kahn	Old Cloverdale	521 Thorn Place
2.	Elizabeth Shaum	Old Cloverdale	926 Cloverdale Road
3.	Janie Wall	Old Cloverdale	919 Felder Avenue
4.	Janie Wall	Old Cloverdale	1431 Magnolia Curve
5.	Gary Oates	Cloverdale Idlewild	3485 Wellington Road
6.	Terry Taylor	Garden District	1123 S. Perry Street
7.	Carrie Chappell	Cloverdale Idlewild	3310 Lebron Road
8.	William Wible	Garden District	1545 S. Perry Street
9.	Katie Williams	Cloverdale Idlewild	820 E. Fairview Avenue
10.	Geary Powell	Old Cloverdale	1215 Woodward Avenue
11.	Tara Sartorius	Cottage Hill	115 Hanrick Street
12.	Ewell Crump	Capitol Heights	2129 A Madison Avenue

**III. Other Business/Announcements**

**The next meeting of the Architectural Review Board will be on  
WEDNESDAY, December 17, 2014 at 5:30 p.m.**

**1. PRESENTED BY:** Julie Kahn

**SUBJECT:** Request for approval of a carport for the property located at 521 Thorn Place (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to add a 10'x20' carport to match the existing carport structures on the property. The car port is an aluminum structure with a baked finish to match the other structures. The location is illustrated on the site plan, which also shows the footprints of the other carports.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

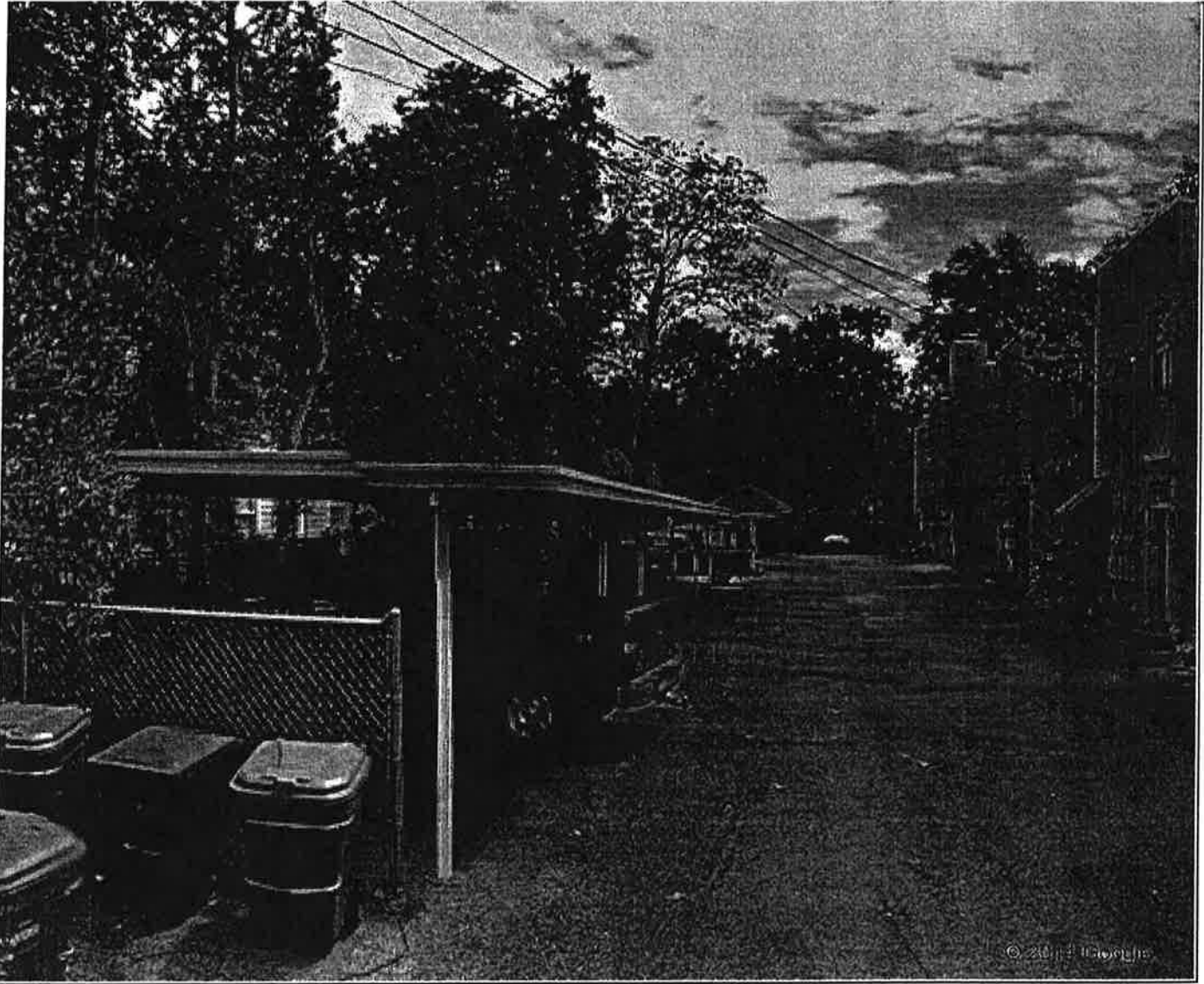
- The proposed addition is consistent with the existing carport structures that were grandfathered into the district. While the Board has not generally approved car ports in this material or configuration when newly proposed, a different style in this location would stand out.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



521 Thorn Place



# Google

Address **521 Thorn Pl**  
**Montgomery, AL 36106**



GRAHAM ST

1949

20'

10'

503

507

511

515

519

523

1960

501

505

509

513

517

521

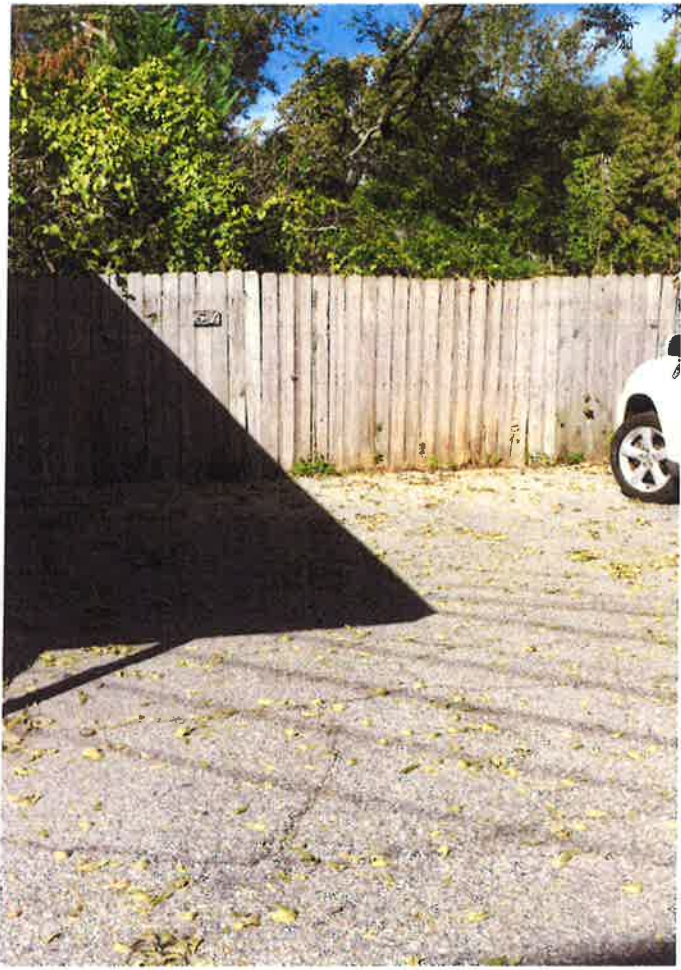


THORN PL

1 inch = 30 feet







**2. PRESENTED BY:** Elizabeth Shaum

**SUBJECT:** Request for approval of roof replacement for the property located at 926 Cloverdale Road (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to replace a rectangular asbestos roof tile with a GAF Timberline architectural tab shingle in Pewter Gray, Slate, or Weatherwood.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The Board needs to determine if the architectural tab shingle is a visually appropriate substitute for the asbestos “slate” tile.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



926 Cloverdale Road





**3. PRESENTED BY:** Janie Wall

**SUBJECT:** Request for approval of motorcourt alterations and wayfinding signs for the property located at 919 Felder Avenue (Old Cloverdale). **Violation**

**REMARKS:** The petitioner is requesting permission to retain 4"x4" cedar posts around the perimeter of the motorcourt to demarcate the space "in keeping with the style of the historic residence." Swag chains will be installed between posts, and the posts will be cut to a maximum height of 44". There are also 4"x4" cedar posts installed along the front drive for the installation of wayfinding signs. The signs will be presented at the meeting.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- The guidelines don't speak to defining parking areas. The Board needs to determine if the cedar posts and chains at the proposed height are appropriate for a building within a residential setting, regardless of use.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_

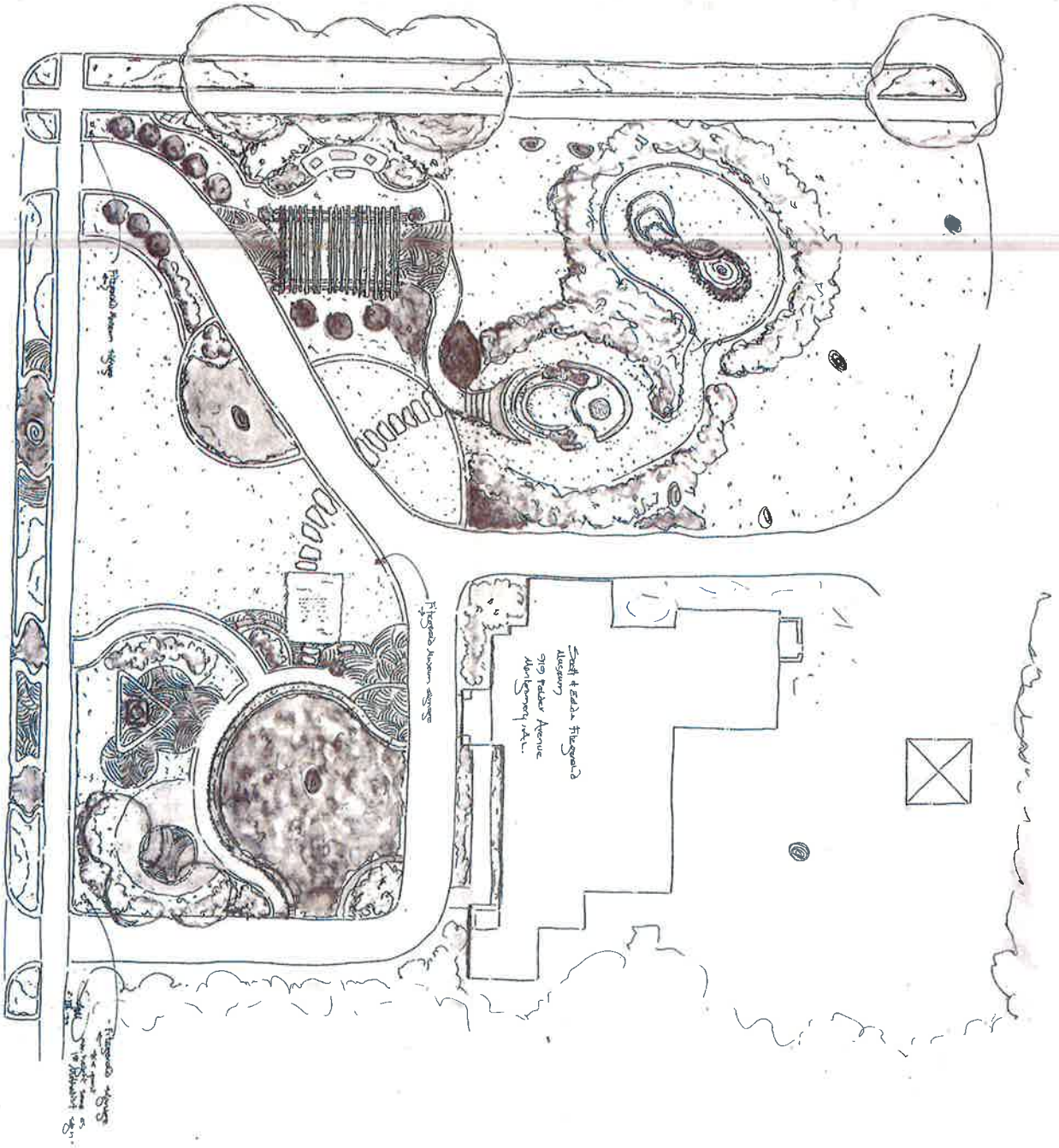


919 Felder Avenue



919 Felder Avenue



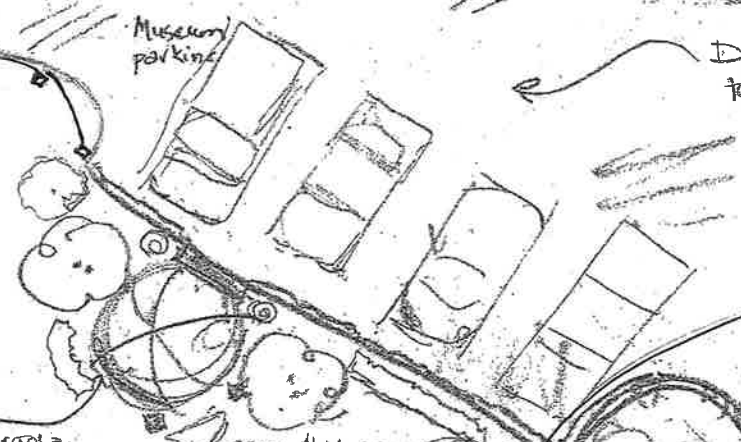
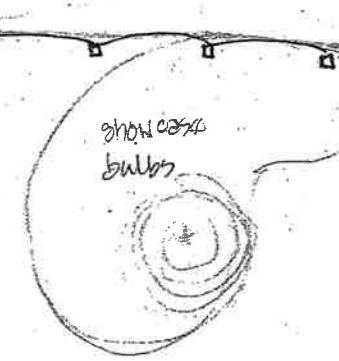
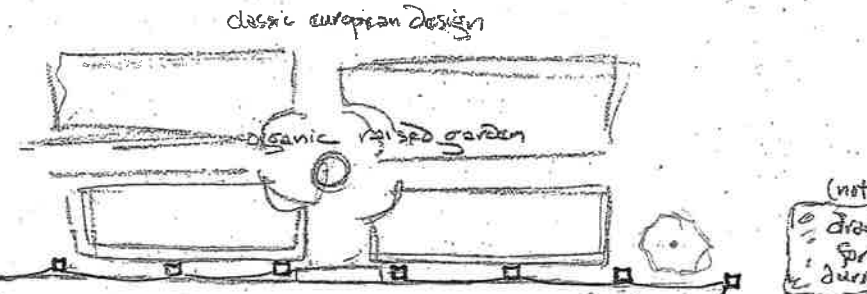
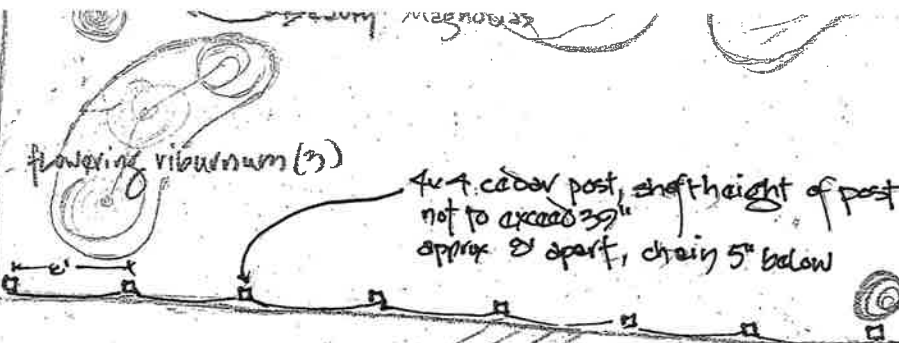


# Fitzgerald Garden

scale 1" = 10'-0"

IV '99

Dunbar Street

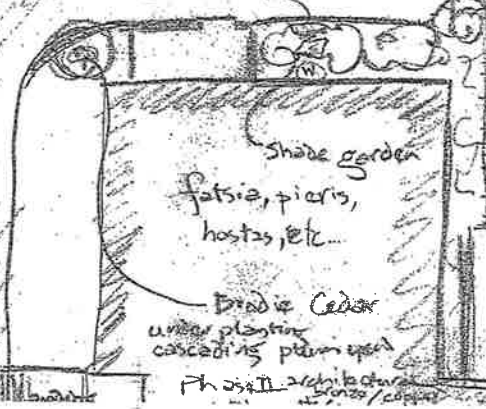


Drive & all hardscape surface to be dressed with brown shot to blend with structure.

approx 32" x 32" square  
 Brick column with bronze plaque for Hyundai's contributions  
 1/2 moon planter on column in style of museum storage stepping stones

garden pergola over original kitchen bed

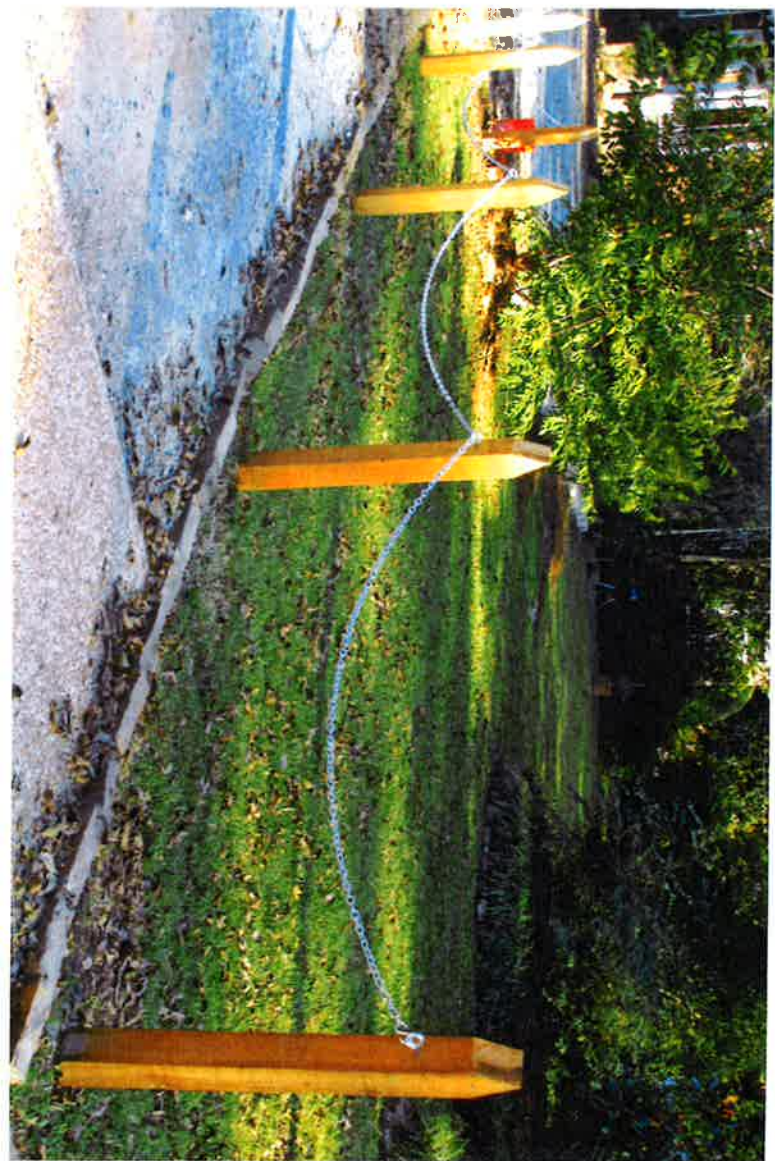
Alabama sandstone  
 stone walk  
 hexagonal stone mosaic  
 tertiary entrance to museum

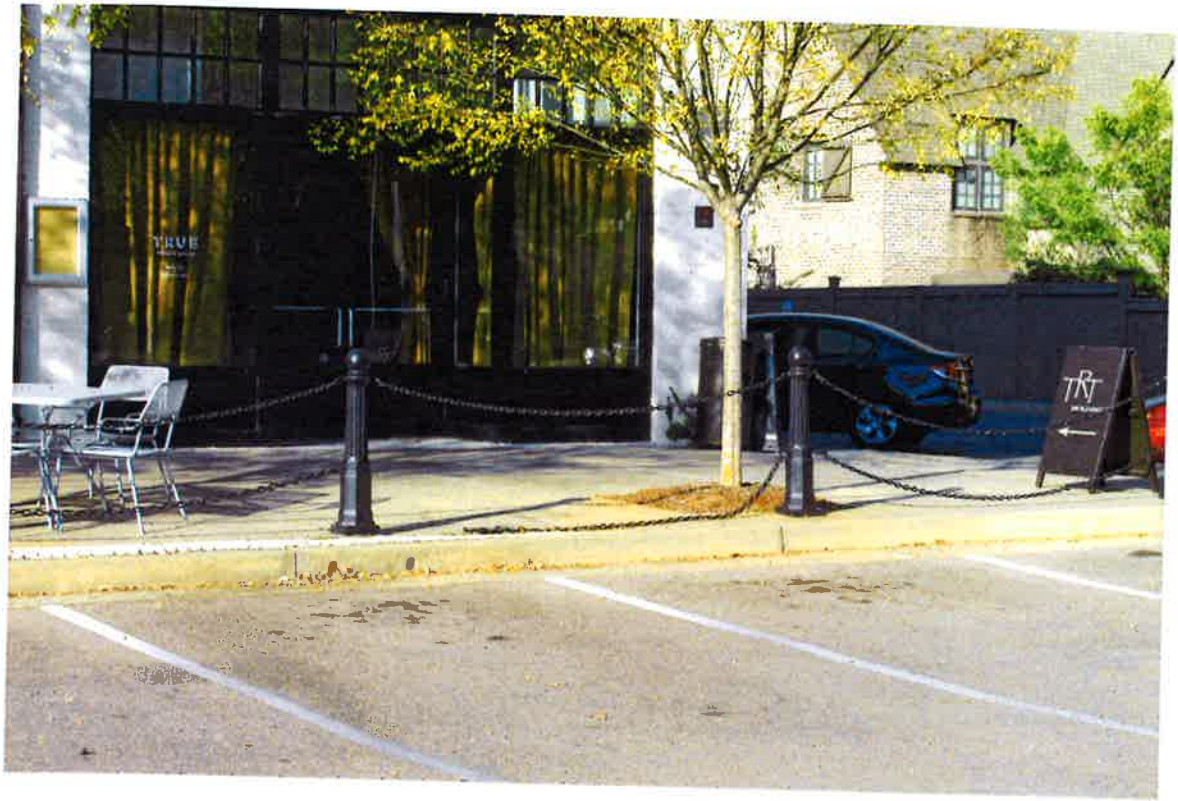


Scott & Zelda Fitzgerald Museum  
 919 Falder Avenue  
 Phase II Landscape Design

J. Wolf Landscape Architecture  
 scale 1/8" = 1' 0"







**4. PRESENTED BY:** Janie Wall

**SUBJECT:** Request for approval of privacy fence, gate, and door for the property located at 1431 Magnolia Curve (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to install a 9' privacy fence on a section of south property line as illustrated on the site plan, with a gate located at the corner of the house, installed on 6"x6" gothic posts. The fence will be painted. The petitioner is also requesting permission to install a wrought iron door in the design illustrated, which would be installed over the existing solid front door.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

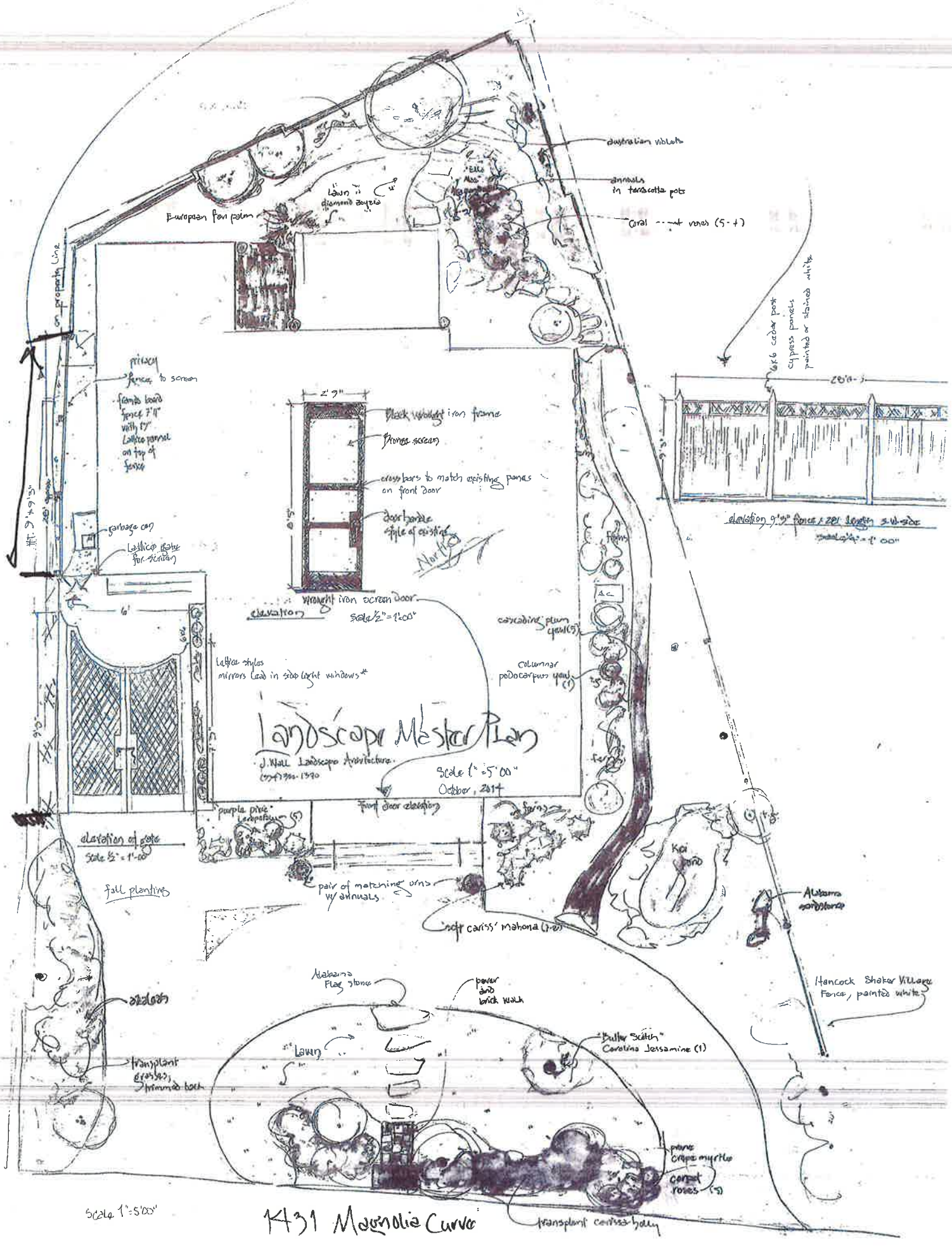
- The standard fence height in the guidelines is 6'. The Board has on occasion approved fences that were taller (7'-8') in locations where the grade change warranted a taller fence. The Board needs to determine if 9' is appropriate in the proposed location.
- A variance is required for any fence over 7' in height.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1431 Magnolia Curve



European Fan palm

claytonia violata

annuals in terracotta pots

Coral plant vines (5-7)

on property line

privacy fence to screen  
 frame back fence 7'11" with 1" lattice panel on top of fence

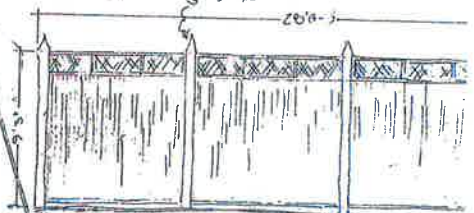


Black wrought iron frame  
 Bronze screen

crossbars to match existing panels on front door

door handle style of existing

wrought iron screen door  
 elevation scale 1/2" = 1'-00"



elevation 9'11" fence / 22'1" lattice sub-door  
 scale 1/2" = 1'-00"

garbage can  
 Lattice style for screen

lattice styles mirrors lead in side light windows\*

# Landscape Master Plan

J. Wall Landscape Architecture  
 (978) 795-1390

Scale 1" = 5' 00"  
 October, 2014

carabine plum (1-2)

columnar pedocarpus (1)

elevation of gate  
 scale 1/2" = 1'-00"

fall plantings

purple pine leucosticta (5)

front door elevation

pair of matching urns w/ annuals

red cariss mahonia (1-2)

Alabama sandstone

Hancock Shaker Village Fence, painted white

Alabama Flag stone

power and brick walk

"Buller Scilla" Carolina Jessamine (1)

loun

pine crepe myrtle  
 coral roses (5)

Scale 1" = 5' 00"

1431 Magnolia Curve

transplant cariss-holly

transplant grasses, trimmed back







**5. PRESENTED BY:** Gary Oates

**SUBJECT:** Request for approval of window replacement and paint color for the property located at 3485 Wellington Road (Cloverdale Idlewild). **Violation**

**REMARKS:** Request for approval for window sash replacement in the existing wood frames. The proposed sash is the Enviroguard BT30, a cellular PVC composite window. The wood trim on the exterior will be repaired and repainted, if a color is not selected from the palette, the color(s) will be presented at the meeting. Painting is only proposed for already painted surfaces, not the unpainted brick.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The application does not specify, and at the time the agenda was prepared, the information was not available, but when the ARB has approved window replacements, the windows need to fit the existing openings, have a simulated (grid on the glass) or true divided lite, and the lite configuration needs to match the window it is replacing. This house has/had a combination of window configurations: 4 lite casements, 6 over 6, and some 2 over two in the front.
- Two windows were replaced with vinyl windows, at a minimum, those windows need to be replaced with an appropriate window that matches the original configuration of the windows they replaced.
- The Board has approved the Enviroguard window in Cloverdale Idlewild previously.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



Before partial vinyl window replacement



3485 Wellington Road



10/31/2014 10:28

3485 Wellington Road

# Enviroguard BT30 Double-Hung Window



**PRECISION  
MILLWORKS, INC.**  
*Specialty Millwork Products*

*Enviroguard is the NO ROT Alternative to Wood*

## The BT30 Advantage

- Block and Tackle balance system for ease in operation and durability
- EZ-Tilt latches for convenience in cleaning
- Finger lifts on both sash
- Comes with 4 9/16" standard jamb width. Other jamb widths available upon request
- Window carries a Light Commercial Rating (134 mph)
- Part of a complete line of Enviroguard products, including EG Casements and EG Custom Millwork
- AAMA Certified and NFRC Rated for peace of mind and outstanding energy efficiency
- Coastal version available
- Competitively priced
- Energy Star certified



▲ EZ-Tilt feature  
for easy cleaning



▲ EZ-Tilt Latch



# Enviroguard BT30 Double-Hung Window



**PRECISION  
MILLWORKS, INC.**  
*Specialty Millwork Products*

**Enviroguard is the NO ROT Alternative to Wood**

## The Enviroguard Story

Most people don't worry about the durability of their windows until they have to be replaced due to rot. Now, with the Enviroguard window they won't ever have to. Enviroguard doesn't rot yet it's paintable and has the traditional look of wood.

Enviroguard is a cellular PVC material that is impervious to water and insects. Precision Millworks uses only 100% Enviroguard on the sash, sill and all exterior parts of all its standard sized and custom built windows.

**We call it a technological breakthrough.  
You'll recognize it as a smart investment.**

All of our Enviroguard double-hung windows have been structurally tested for wind and water resistance by a nationally certified testing facility. A rating of DP-30 was achieved, which meets or exceeds building code requirements for our market areas.

## Finishing

Our Enviroguard double-hung windows come with a primer coat that carries a ten-year warranty. Enviroguard should be painted with standard oil-base or latex paint using industry standard painting techniques after cleaning. **Dark colors (any color that falls within the L value of 56 to 0) should not be used.** L is a measure of the lightness of an object, and ranges from 0 (black) to 100 (white).

## Specifications

		Cellular PVC	Pine
Average Density		0.50	0.43
Screw Holding	Face	298#	293#
	Edge	268#	231#
Water Absorption (%)		≤1.0	15-35

*Note: For joining PVC to wood use drywall screws with large thread or flute.*

## 20-10-25 Warranty

We warrant our glass against seal failure for 20 yrs. Our factory-applied primer coating is warranted for 10 years against peeling, flaking or blistering, and our PVC components are warranted against rot, warpage or corrosion for 25 years.

All this adds up to peace of mind for the homeowner!

## Size and Arrangements

Size	Rough Opening	Std. Light Arrangement
1/8 x 3/2	22 x 42	4 Over 4
1/8 x 3/10	22 x 50	4 Over 4
1/8 x 4/6	22 x 58	4 Over 4
1/8 x 5/2	22 x 66	4 Over 4
1/8 x 5/6	22 x 70	4 Over 4
1/8 x 6/2	22 x 78	6 Over 6
2/0 x 3/2	26 x 42	4 Over 4
2/0 x 3/10	26 x 50	4 Over 4
2/0 x 4/6	26 x 58	4 Over 4
2/0 x 5/2	26 x 66	4 Over 4
2/0 x 5/6	26 x 70	4 Over 4
2/0 x 6/2	26 x 78	6 Over 6
2/4 x 3/2	30 x 42	6 Over 6
2/4 x 3/10	30 x 50	6 Over 6
2/4 x 4/6	30 x 58	6 Over 6
2/4 x 5/2	30 x 66	6 Over 6
2/4 x 5/6	30 x 70	6 Over 6
2/4 x 6/2	30 x 78	9 Over 9
2/8 x 3/2	34 x 42	6 Over 6
2/8 x 3/10	34 x 50	6 Over 6
2/8 x 4/6	34 x 58	6 Over 6
2/8 x 5/2	34 x 66	6 Over 6
2/8 x 5/6	34 x 70	6 Over 6
2/8 x 6/2	34 x 78	9 Over 9
3/0 x 3/2	38 x 42	6 Over 6
3/0 x 3/10	38 x 50	6 Over 6
3/0 x 4/6	38 x 58	6 Over 6
3/0 x 5/2	38 x 66	6 Over 6
3/0 x 5/6	38 x 70	6 Over 6
3/0 x 6/2	38 x 78	9 Over 9
3/4 x 3/2	42 x 42	8 Over 8
3/4 x 3/10	42 x 50	8 Over 8
3/4 x 4/6	42 x 58	8 Over 8
3/4 x 5/2	42 x 66	8 Over 8
3/4 x 5/6	42 x 70	8 Over 8
3/4 x 6/2	42 x 78	12 Over 12

## Precision Millworks, Inc.

910 Dahlonega Highway • Cumming, GA 30040  
800-662-7883 • Fax 800-821-3179  
770-781-3020 • Fax 770-781-3026  
www.norot.com

**Standard Features**

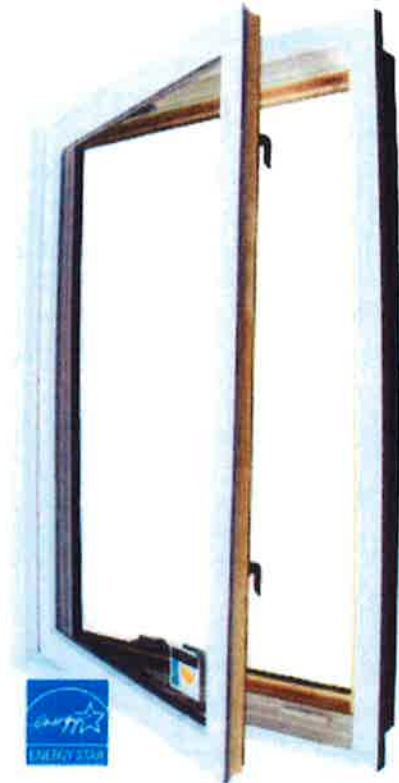
- 100% Cellular PVC EnviroGuard™ exterior including exterior brickmould, sill nosing, jamb and sash.
- Wood paint grade interior jamb and sash.
- Full 4-9/16" jamb.
- 2" thick sash.
- 1 1/16" thick Low E insulated double strength glass with Argon.
- Super Spacer® warm edge glass technology.
- Dual weather-strip top and sides.
- White hardware standard - other finishes available.
- Folding crank handle.
- Multi-point locking system.
- Convenient Truth™ "washability" hinge.
- White screens.

**20-10-25 WARRANTY**

Glass is warranted against seal failure for 20 years. The factory-applied primer coating is warranted for 10 years against peeling, flaking or blistering, and the PVC components are warranted against rot, warpage or corrosion for 25 years. All this adds up to peace of mind for the homeowner. Visit [www.norot.com](http://www.norot.com) for more details on painting instructions and exclusions.

**PRE-FINISHED OPTIONS**

For greater paint and color protection, choose our pre-finishing option for your new cellular PVC



Enviroguard™ windows.

Enviroguard™ uses the patented Royal Spectra Coat™ technical colorizing system - paints and applications that are specifically engineered for adhesion to cellular PVC surfaces while creating long-lasting color vibrancy. Covered by a 20-year RoyalBond warranty, our pre-finished windows have proven durability in all weather conditions without peeling, flaking or cracking.

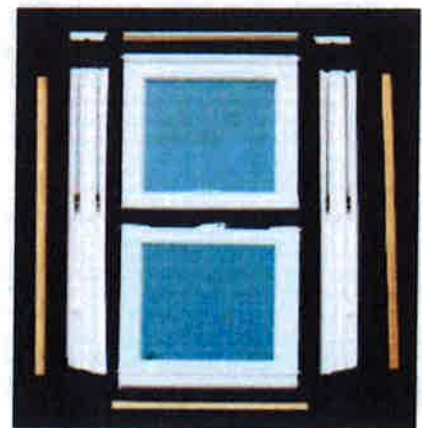
Enviroguard™ offers 12 standard color choices and 14 premium color choices. Custom colors through computer matching are also available on request.

**SASH REPLACEMENT KITS**

To fix a faulty window sash was once a costly, messy, lengthy and intrusive process. Now, with the Enviroguard™ Block & Tackle sash replacement kit, we offer a faster, easier, cleaner and more affordable way to replace a window sash on double-hung windows. How? The Enviroguard™ Sash Replacement Kit enables homeowners to simply replace the sash and not the entire replacement window unit, keeping cost and mess to a minimum and cuts replacement time down from hours to just minutes per window.

Impervious to rot and insects, the Enviroguard™ BT30 block and tackle double-hung replacement sash kit is not only an affordable and easy way to replace windows\*, but they are beautiful and durable. Constructed with the highest quality cellular PVC, our sash replacement kits have all the natural characteristics of wood, including great appearance—without the shortcomings. They won't rot, peel, splinter, decay, nor absorb moisture.

Enviroguard™ cellular PVC double hung sash kits can be painted, look like real wood, and maximize glass space.



Visit the [Enviroguard™ Website](http://www.enviroguard.com) for more information. See literature below.



**6. PRESENTED BY:** Terry Taylor

**SUBJECT:** Request for approval of carport, driveway alterations, awning, and siding material for the property located at 1123 S. Perry Street (Garden District).

**REMARKS:** The petitioner is requesting permission to:

- A 25'x48' carport in the rear. The carport will accommodate 4 vehicles, 8"x8" pine posts, hipped roof shingled to match the existing house roof, and cornice and dentil molding to house;
- Widen driveway apron at the street;
- Additional aggregate material between the existing driveway and the new carport as illustrated on the site plan;
- Awning over the front window;
- Hardie plank to replace wood siding on existing rear addition.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- The building is being converted from a multi-unit building to a duplex, the parking structure will provide two covered spaces for each unit.
- There is a similarly sized parking structure behind the property just south of this property.

**COMMENTS** \_\_\_\_\_

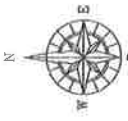
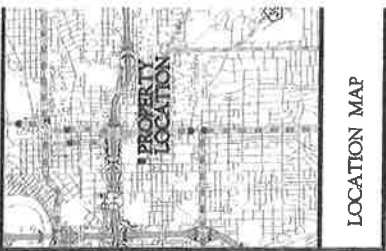
**ACTION TAKEN** \_\_\_\_\_



1123 S. Perry Street



1123 S. Perry Street



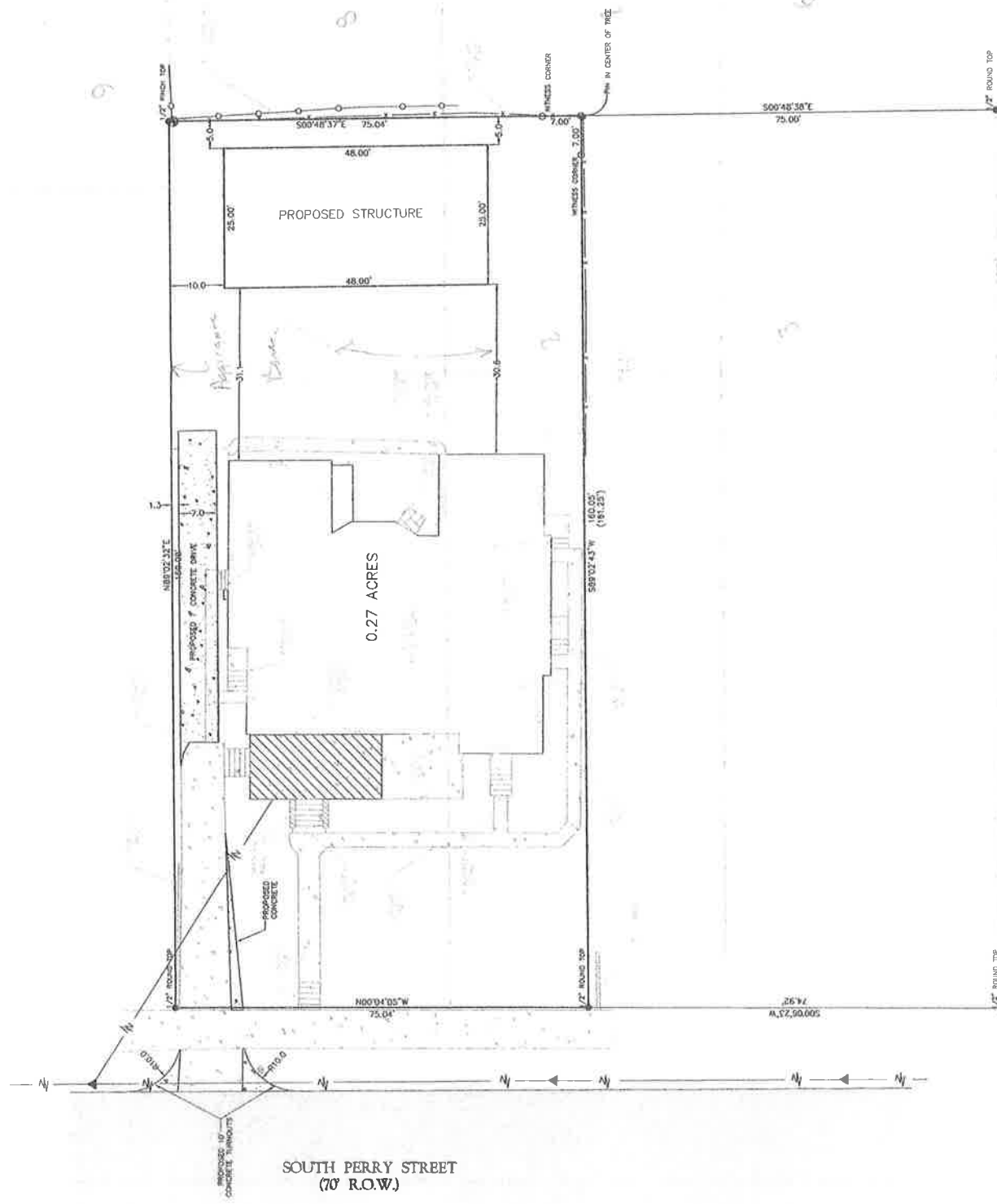
**SCALE: 1"=1'**  
 GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 10 ft.

**LOCATION MAP**

**SCHEDULE**  
**DEVELOPMENT PLAN**

**PROJECT**  
 T.H. TAYLOR  
 1123 S. PERRY ST.  
 Montgomery, Alabama

DATE	REVISIONS



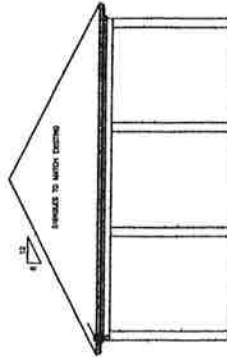
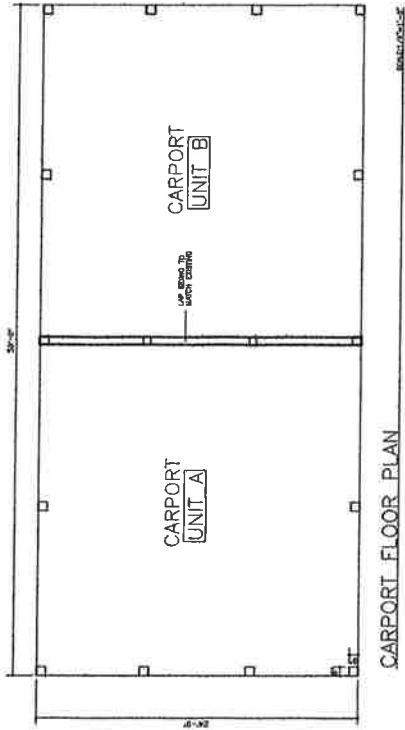
- LEGEND**
- PROPOSED**
- SANITARY SOWER LATERAL
  - 1" WATER SERVICE
  - SANITARY SOWER MANHOLE
  - WATER VALVE
  - FIRE HYDRANT
- EXISTING**
- EXISTING HYDRANT
  - WATER MAIN
  - SANITARY SOWER LINE
  - SANITARY SOWER MANHOLE
  - STOP SIGN
  - STOP SIGN
  - GAS LINE
  - 100.00 SPOT ELEVATION
  - CROWN MANHOLE
- OTHER**
- FOUND CONCRETE MARKER
  - 4\"/>



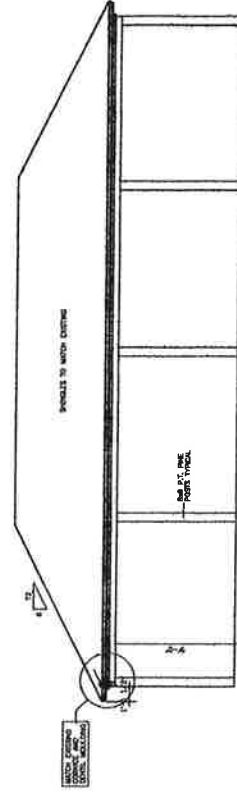
PROPOSED ALTERATIONS FOR  
**PERRY STREET RESIDENCE**  
T.H. TAYLOR : BUILDER

D

22 HOURS  
10/19/14



LEFT & RIGHT SIDE ELEVATION



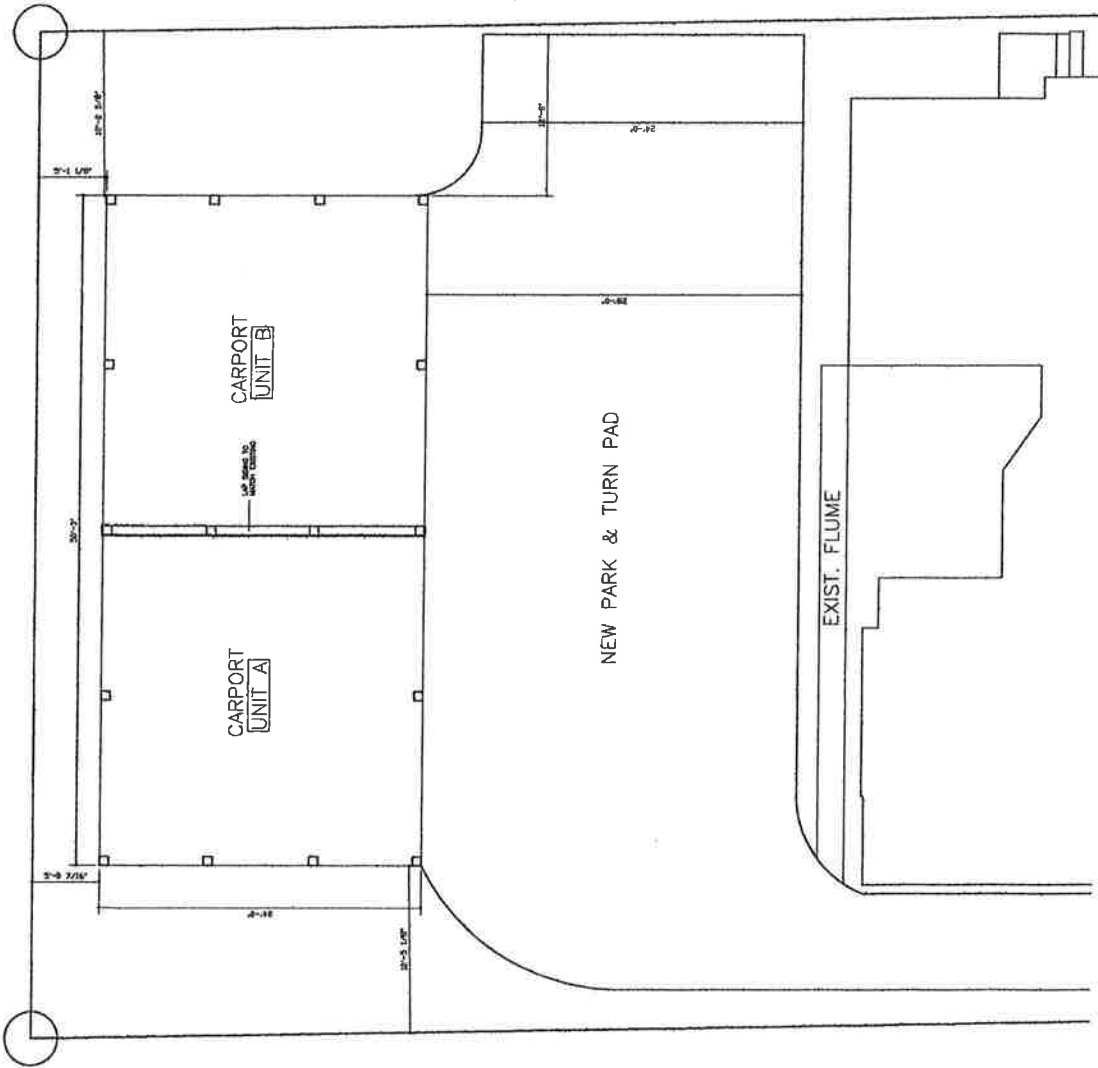
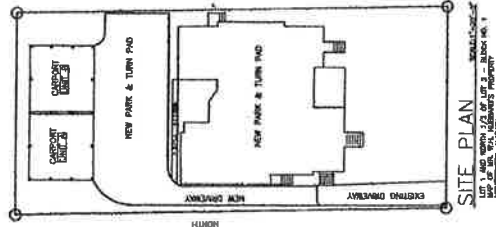
FRONT & REAR ELEVATION

NOTE: ALL ROOF TO MATCH EXISTING COLOR AND PITCH.



**PERRY STREET RESIDENCE**  
**T.H. TAYLOR : BUILDER**  
**PROPOSED ALTERATIONS FOR**

S



PARTIAL SITE - PLAN ENLARGED

**7. PRESENTED BY:** Carrie Chappell

**SUBJECT:** Request for approval of new patio, doors, window replacement, tree removal, and demolition and replacement of garage for the property located at 3310 Lebron Road (Cloverdale Idlewild). **Partial violation.**

**REMARKS:** The petitioner is requesting permission to:

- Demolish (after the fact) and rebuild the garage. The previous structure had two car bays, the new structure would be built in the same front gable style with a single two car door. The garage will be clad in either Hardi plank or wood siding, door styles are attached. The garage is proposed on the same footprint as the previous garage, which requires a variance to rebuild. The Board is being asked to consider the option of moving the garage 2' from the property line in the event a variance is not granted;
- Repour concrete driveway in existing footprint;
- Remove cedar tree at the rear of the house;
- Pour new concrete patio and install French doors in the rear wall to access the patio;
- Replace sashes on two attic windows.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The Board has approved the use of Hardie siding on outbuildings in the past.
- Driveway can be repoured in the same footprint without ARB approval.
- If the attic windows are milled to match (the owner was meeting with Marshall Lumber), ARB approval would not be required. Any other window would need to be wood or aluminum clad wood, simulated or true divided lite, with a matching pane configuration.
- No replacement is proposed for the tree. Tree is healthy, but is in the way of the proposed patio. If approved, Urban Forester recommends a replacement tree be required.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



*3310 Lebron Road*

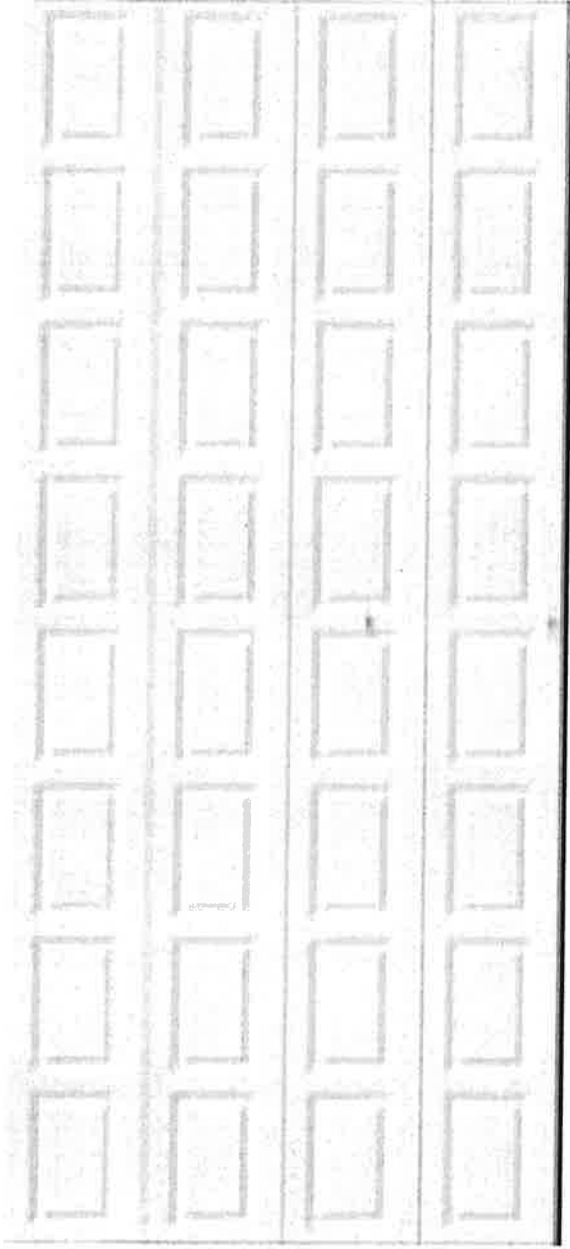


# 3310 Lebron Road Planned Improvements

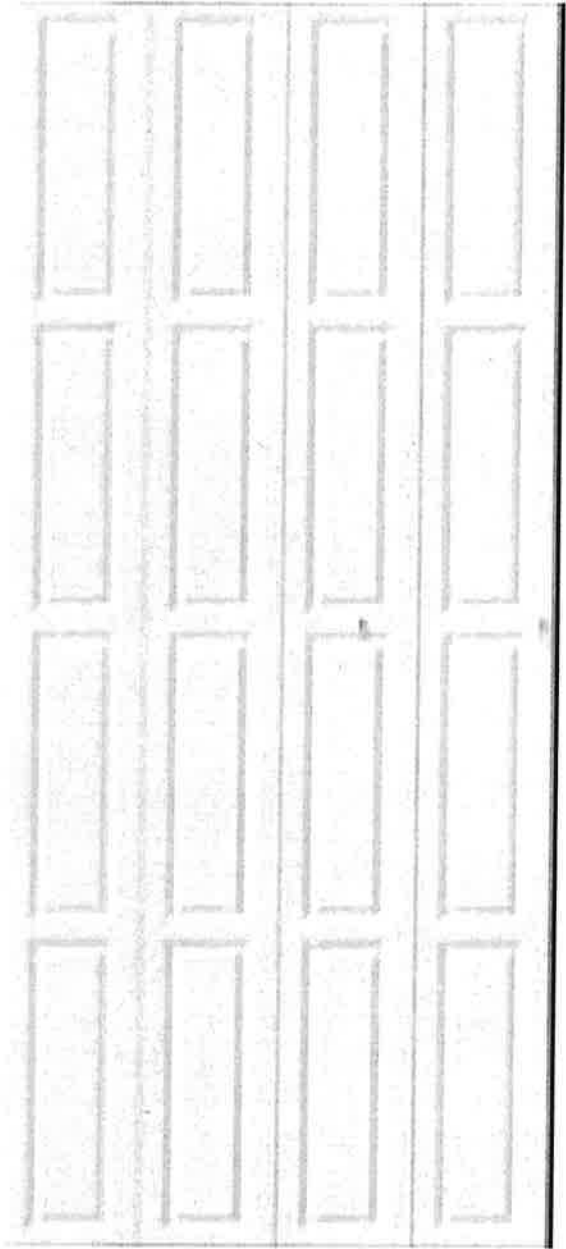




REBUILD DETACHED GARAGE EXACTLY THE SAME EXCEPT WITH A DOUBLE GARAGE DOOR



Option 1 - Steel



Option 2 - Steel



Badly rotted wood on detached garage...exact same shingles will be used for new garage

## Siding for the new garage:

First Choice: ~~Masonite~~  
*fiber cement / Hardie*



Second Choice: Wood



Paint color will remain the same...light grey to match the house and white trim



Remove existing badly broken-up concrete driveway and lay new concrete driveway in exact same footprint



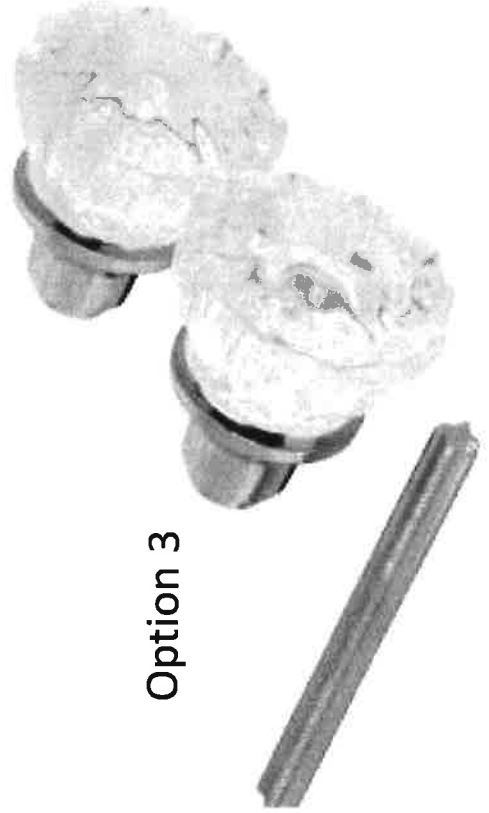
Remove existing tree to lay concrete patio, and add french doors going out to patio



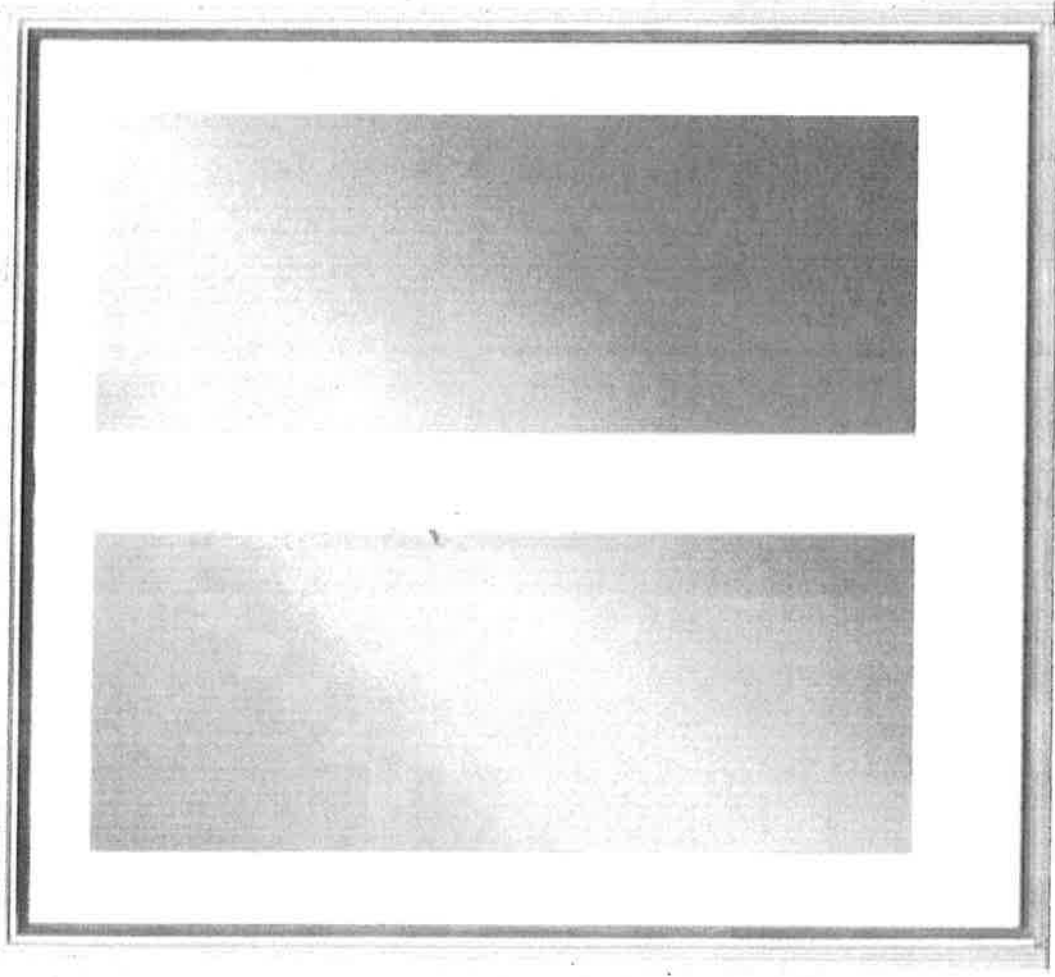
Option 1



Option 2

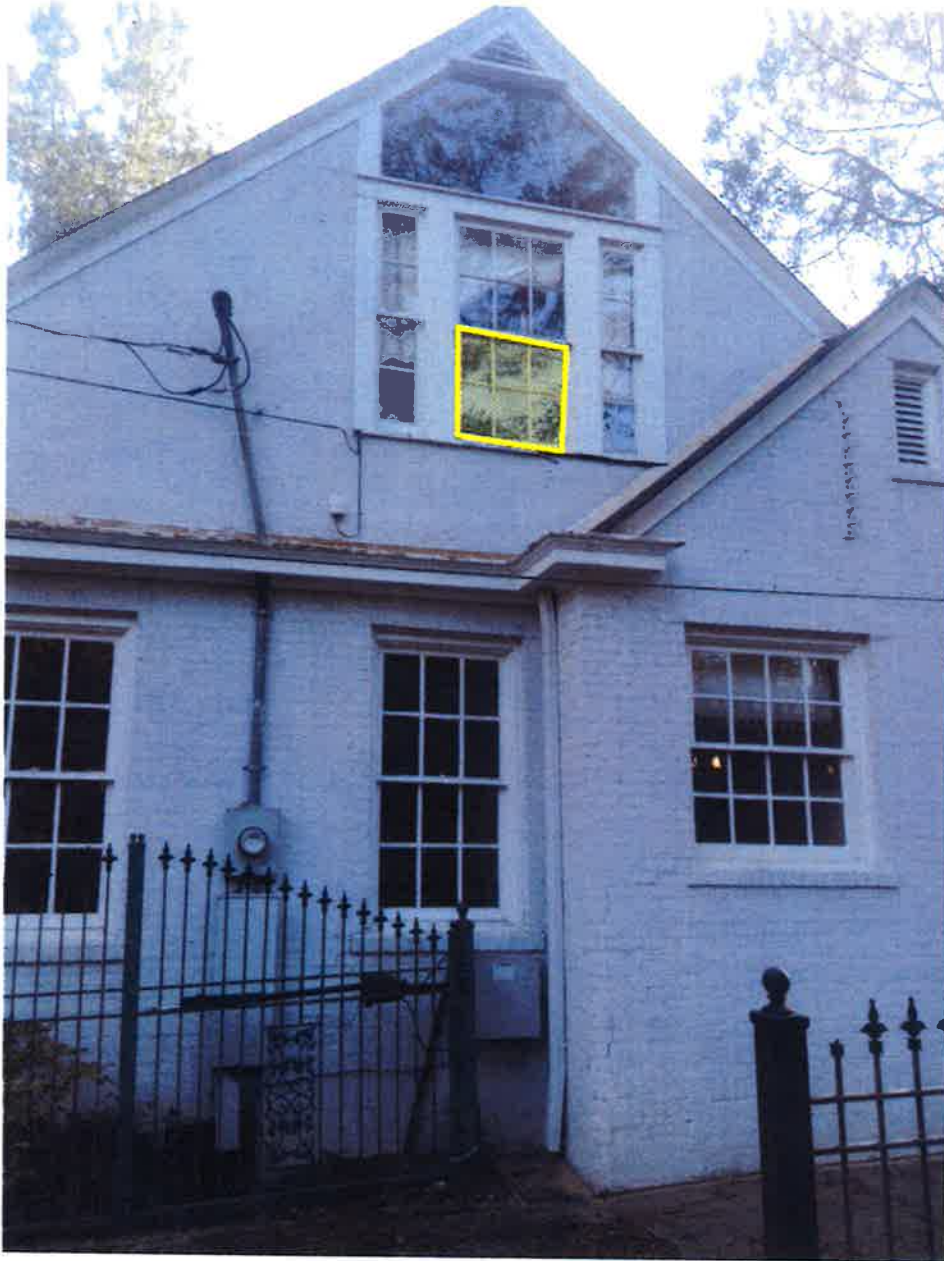


Option 3



Steel french doors painted white to match trim





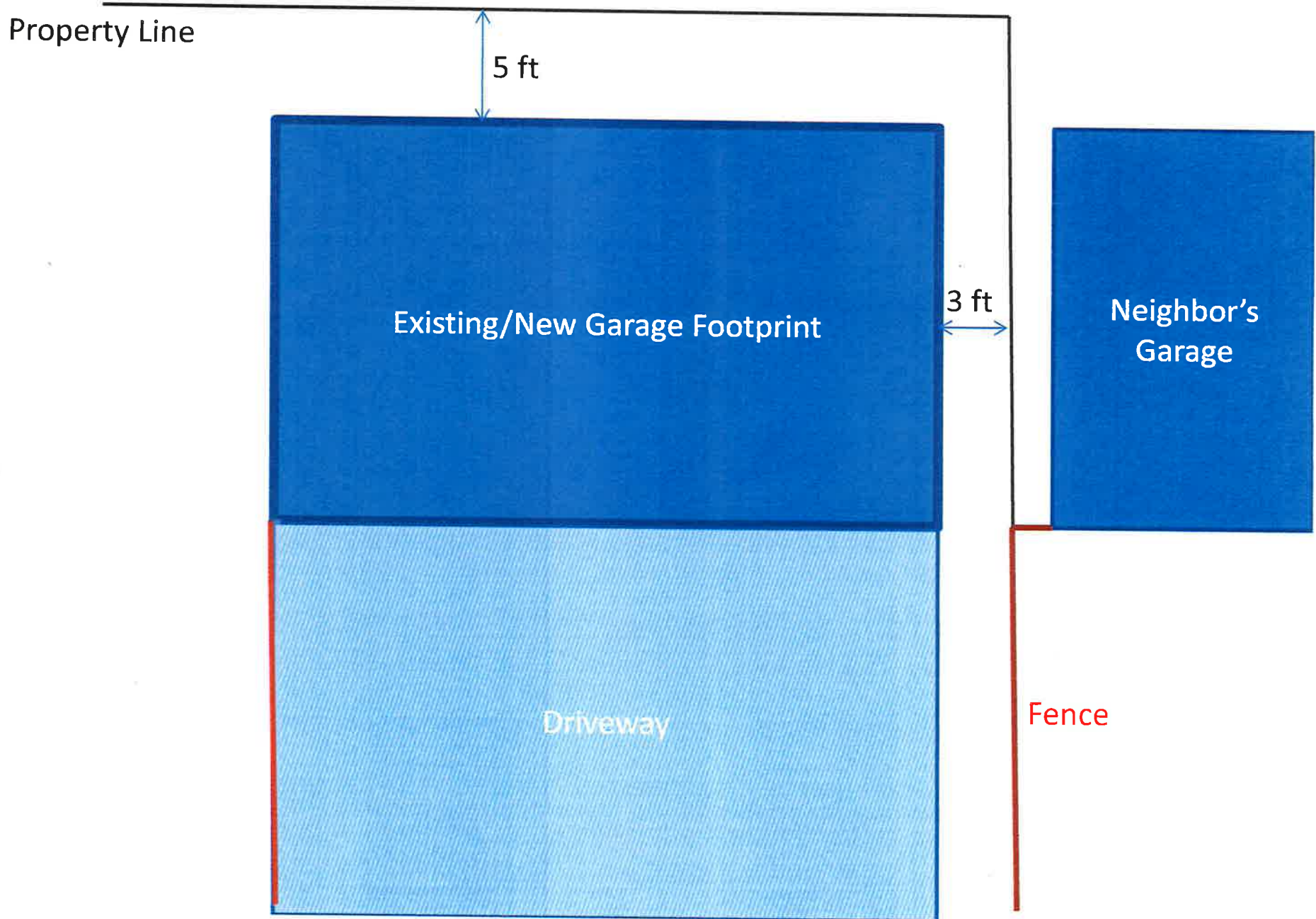
Rotted wood windows will be rebuilt by:  
Marshall Lumber and Mill Company





**GARAGE TREE**

A variance from the required 5 ft setback from the right property line is being submitted in conjunction to the Board of Adjustment



**8. PRESENTED BY:** William Wible

**SUBJECT:** Request for approval of an addition and tree removals for the property located at 1545 S. Perry Street (Garden District).

**REMARKS:** The petitioner is requesting permission to add a new, 1.5 story wing at the south end of the house connected by an enclosed hallway as illustrated. The new wing will be in line with the front of the existing house, brick and shingles to match, paint to match, with aluminum clad wood windows. The hallway will have a standing seam metal roof in medium bronze.

The project calls for the removal of 5 trees: 3 pecans that were previously approved for removal and replacement, a deodar cedar that is in front of the proposed addition, and a holly tree that is located next to the garage, which is now slated for repair. 3"-4" caliper trees are proposed as replacements as illustrated on site plan: Sasanqua in the front, cherry at the garage; Nuttall oak and American Beech in the orchard.

The kennel is now proposed to be converted into a pergola, and not a storage/potting shed.

The submission is to replace the previously approved plans for an addition, garage, and landscaping, not to be approved in addition to those plans.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- No objections (on construction or tree removals and proposed replacement)

**COMMENTS** \_\_\_\_\_

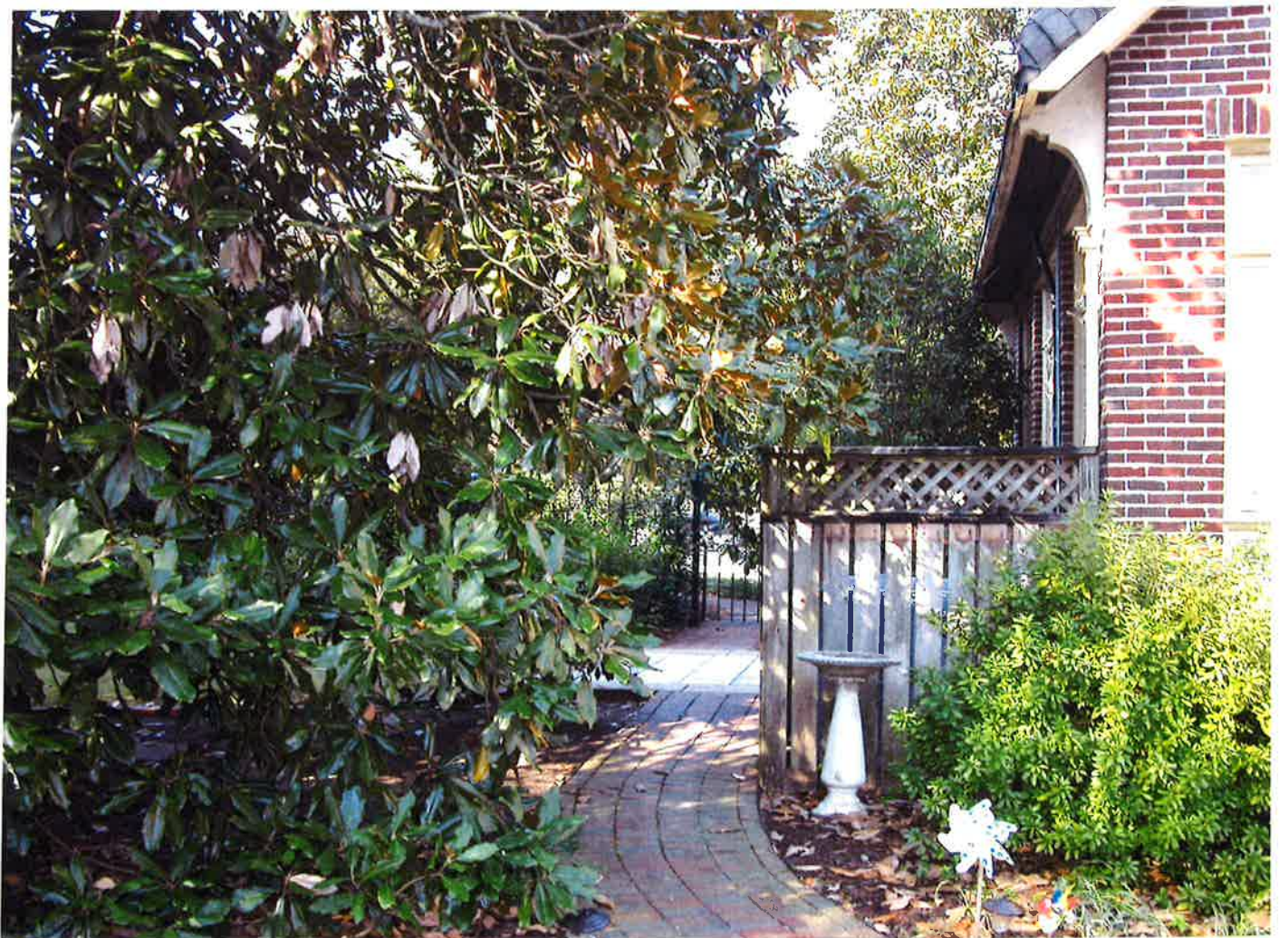
**ACTION TAKEN** \_\_\_\_\_



1545 S. Perry Street



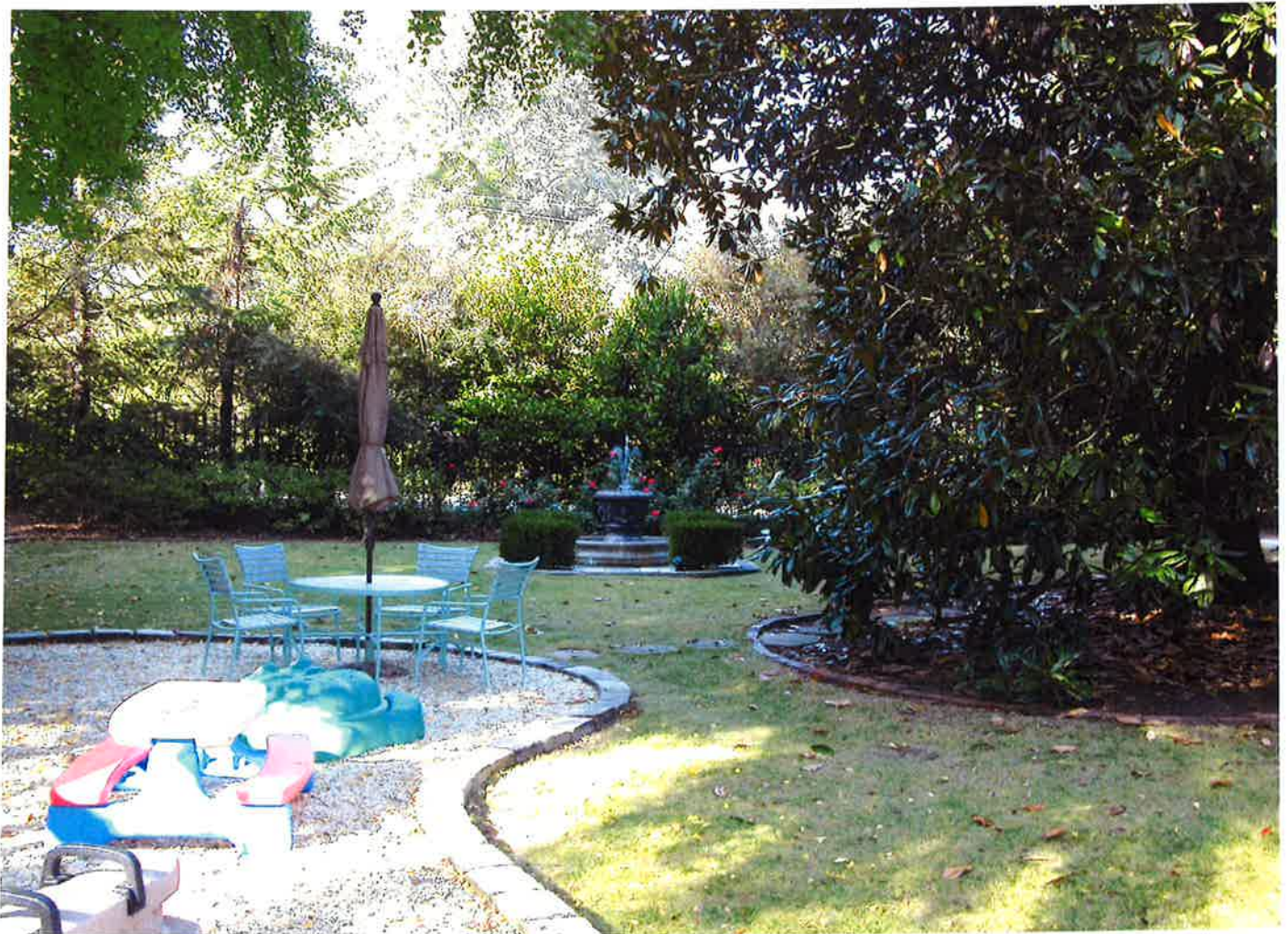




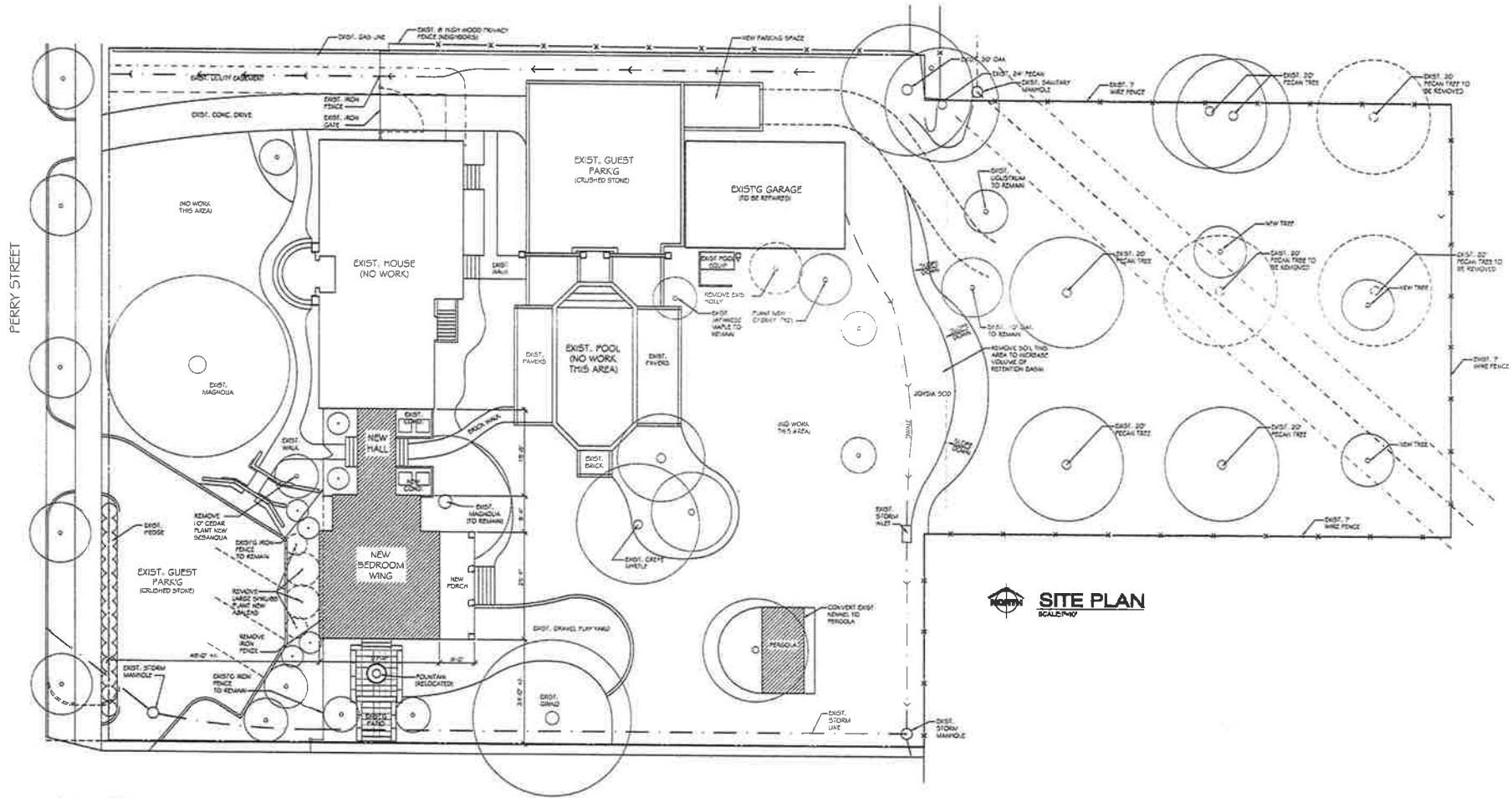








# AN ADDITION TO TO THE RESIDENCE OF MR. AND MRS. WILLIAM R. WIBLE



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

Bill Wible  
 148 Pine Street  
 HOUSTON, TEXAS 77002  
 (713) 865-1111  
 Jennifer Barber  
 DRA

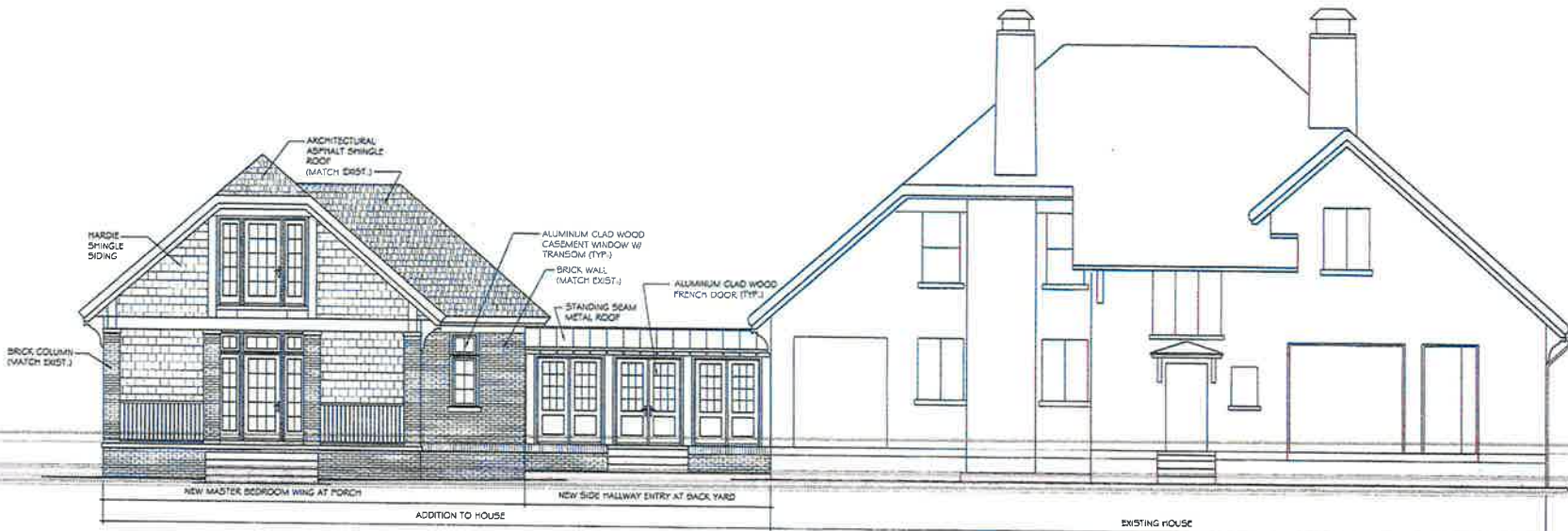
AC10  
 SITE PLAN

An Addition to the Residence of  
 Mr. and Mrs. William R. Wible  
 148 Pine Street, Houston, Texas 77002

**AC10**



**WEST ELEVATION (FRONT)**  
SCALE: 1/4"=1'-0"



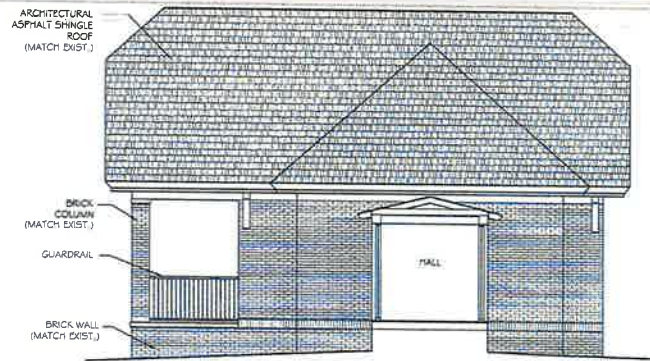
**EAST ELEVATION (REAR)**  
SCALE: 1/4"=1'-0"

BILL W  
 ARCHITECT  
 1000 10th St  
 Jennifer  
 10/1/14

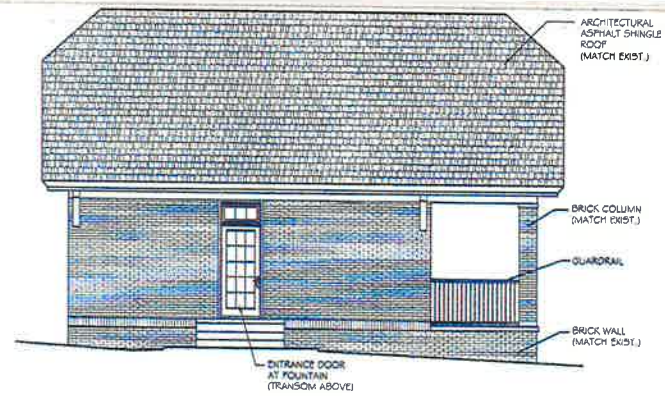
An Addition to the Residence of  
 Mr and Mrs. William P. White

SHEET NO. 1  
 ELEVATION

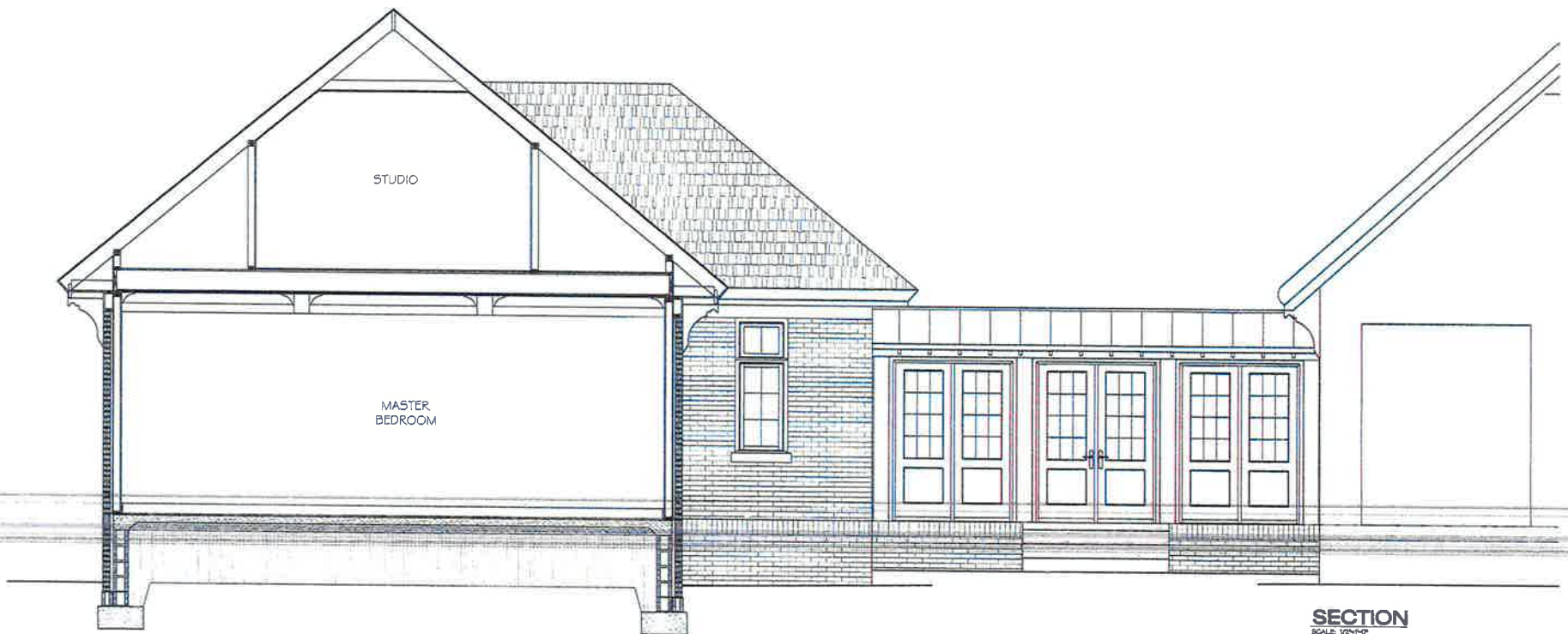
A2  
 10/1/14



**NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



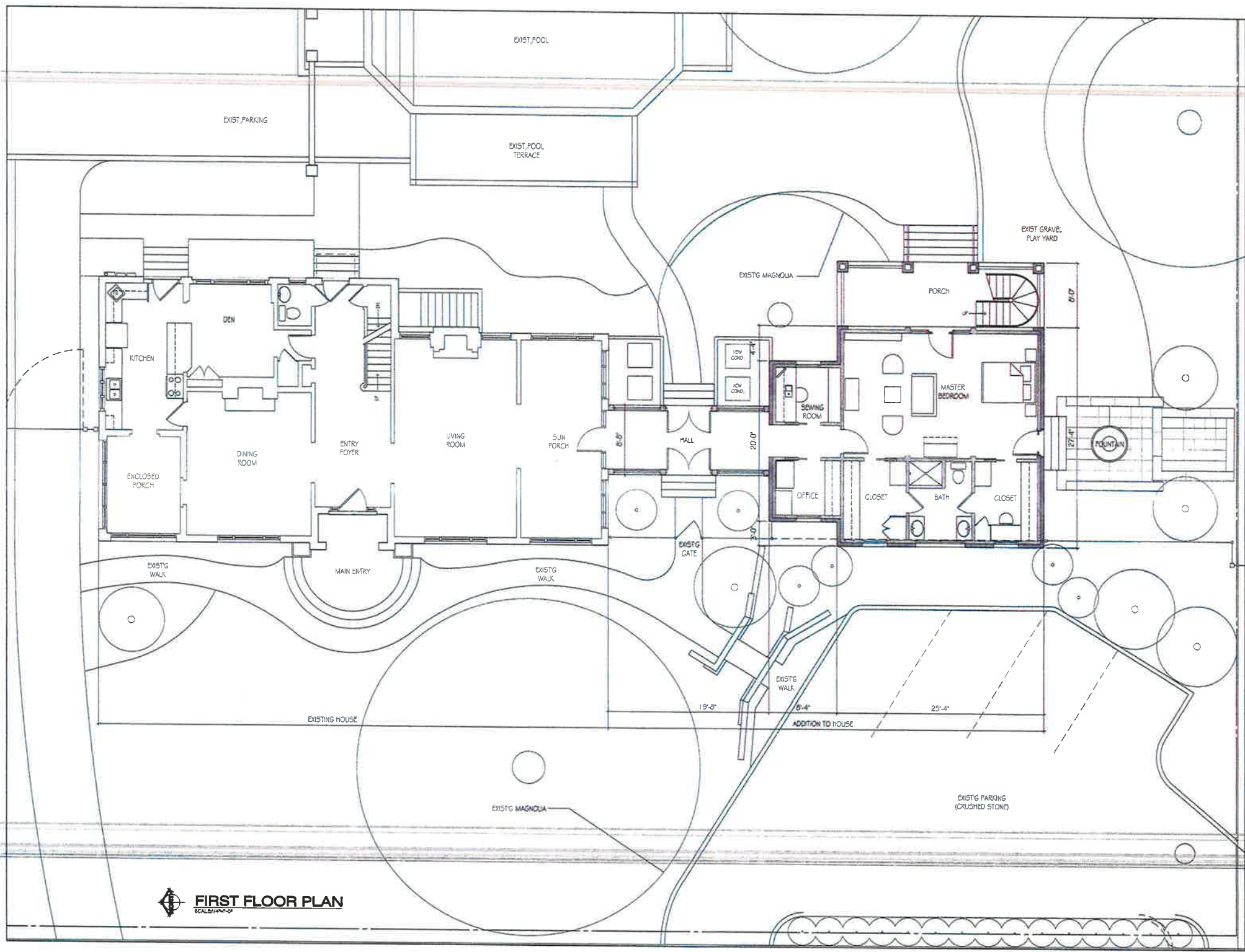
**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**SECTION**  
SCALE: 1/2"=1'-0"

An Addition to the Residence of  
Mr. and Mrs. William R. Wible

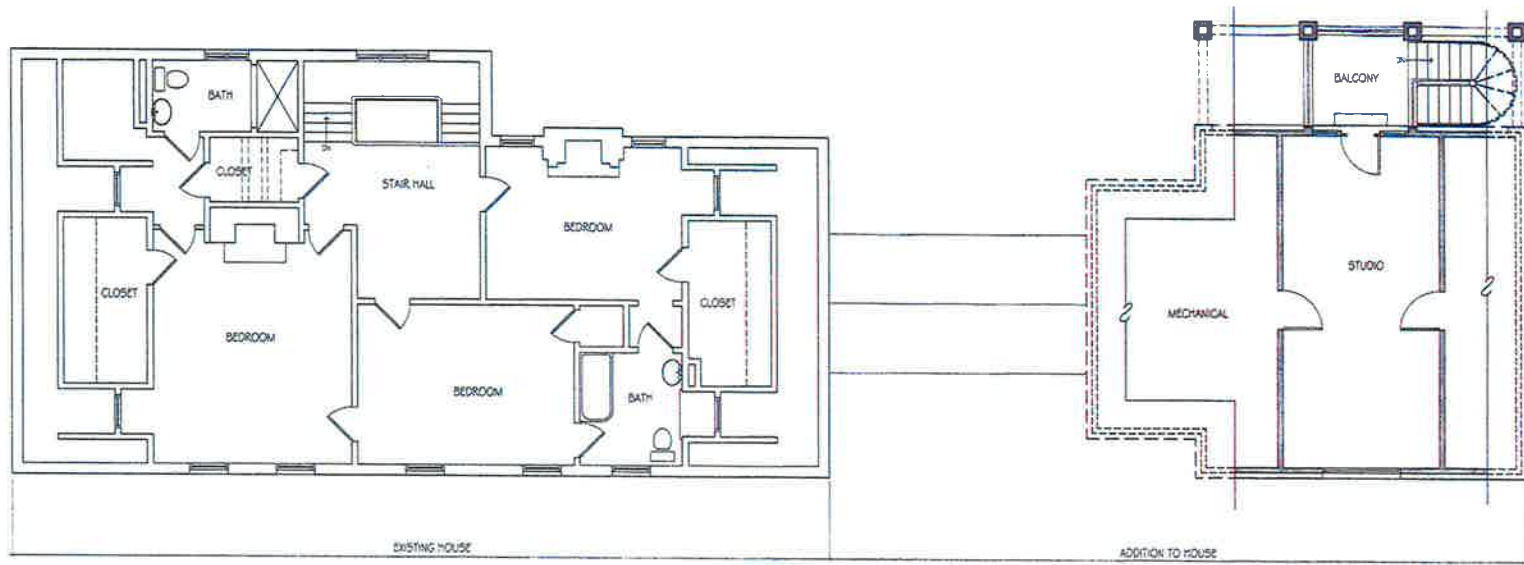
ELEVATIONS  
SECTIONS



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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An Addition to the Residence of



 **SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

An Addition to the Residence of  
Mr and Mrs. William R. Wible

DATE: 10/10/08  
DRAWN BY: JTB  
CHECKED BY: JTB  
SECOND FLOOR PLAN

**A10**



**9. PRESENTED BY:** Katie Williams

**SUBJECT:** Request for approval of rear addition for the property located at 820 E. Fairview Avenue (Cloverdale Idlewild).

**REMARKS:** The petitioner is requesting permission to construct a two story addition at the rear of a two story house as illustrated. Brick to match the original and wood siding are proposed as illustrated; 6 over 6 double hung wood windows; wood columns; metal railing, and bronze screening for the lower porch. The roof will match the existing shingles.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The extant two story porte cochere will make the addition not visible from Fairview Avenue.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



*820 E. Fairview Avenue*



820 East Fairview Avenue



Back View of Residence



REPAIR  
REPLACE  
FENCE  
TO MATCH  
EXISTING

View of Adjacent Apartments and Project Area



View of Project Area



View of Project Area from Carport



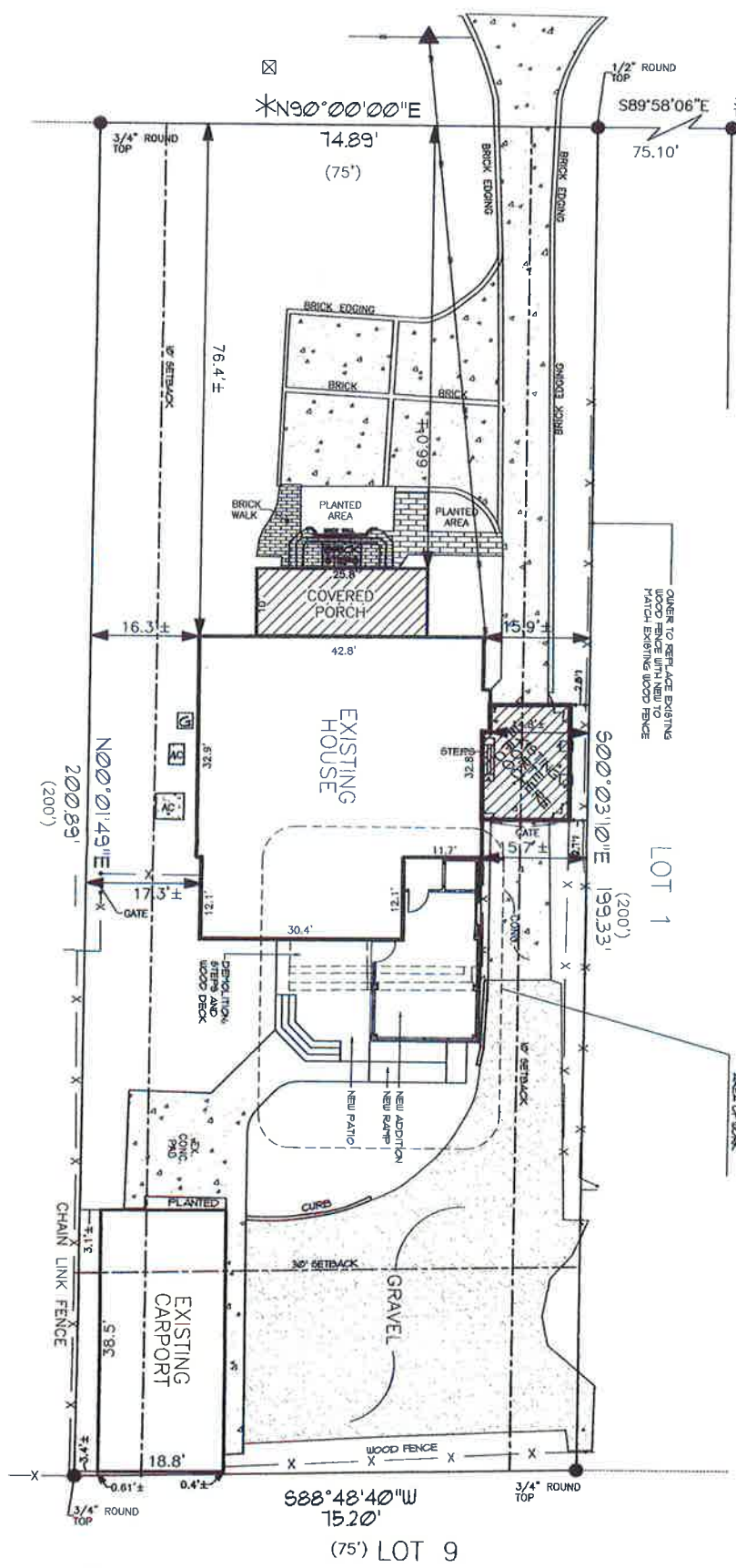
Adjacent Neighbor



Adjacent Neighbor

# FAIRVIEW AVE.

LE BRON ROAD  
(55' R.O.W.)



LOT 2  
BLOCK 5  
0.34 ACRES  
MORE OR LESS

NOT FOR CONSTRUCTION USE

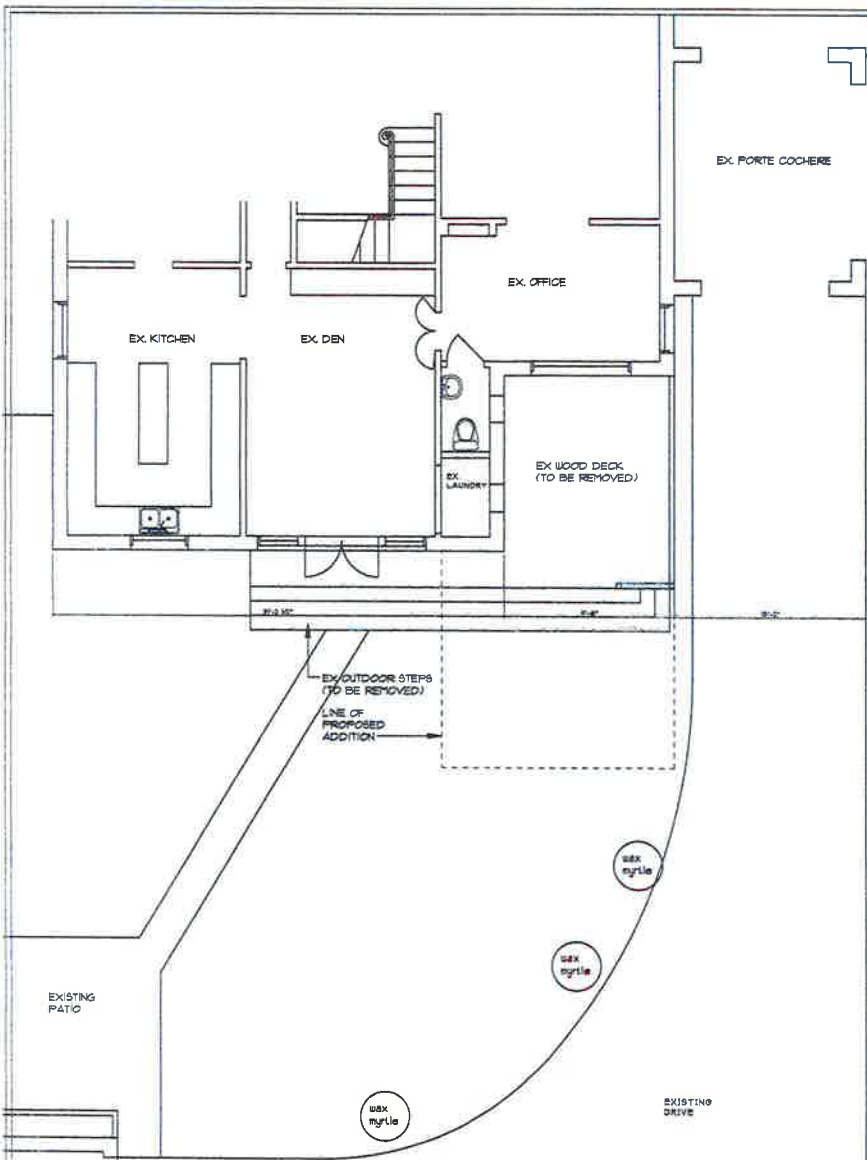


ADDITIONS TO THE RESIDENCE OF  
MR. AND MRS. LARRY DIXON  
820 FAIRVIEW AVENUE  
MONTGOMERY, ALABAMA



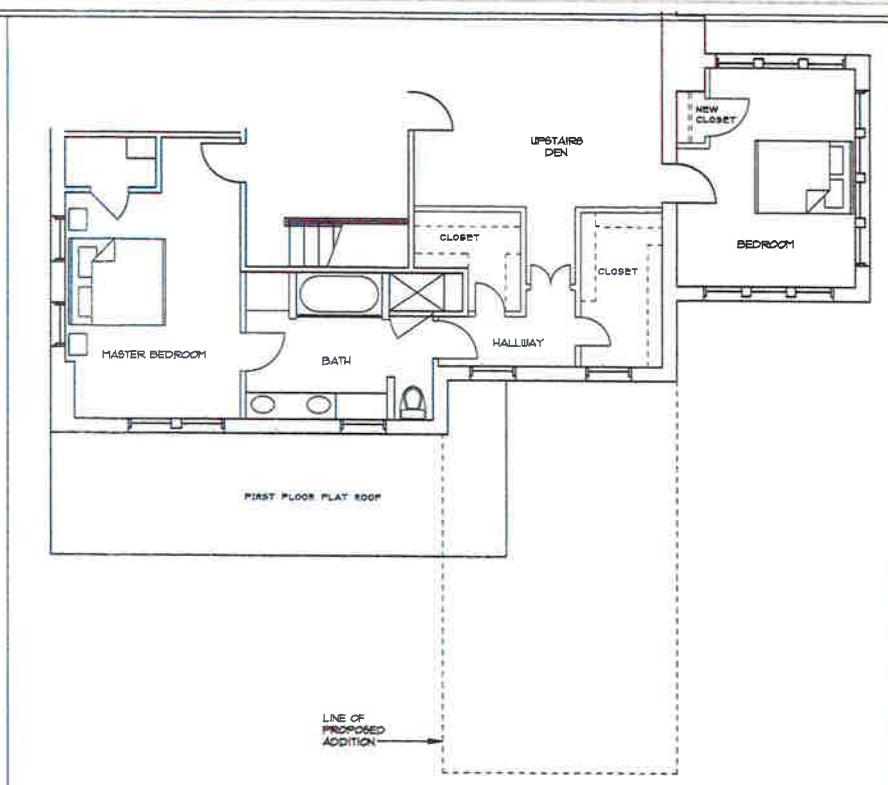
T1  
EXTERIOR ELEVATIONS

OCTOBER 24, 2004



EXISTING FIRST FLOOR PLAN (PARTIAL)  
1/4" = 1' - 0"

NOT FOR CONSTRUCTION USE



EXISTING SECOND FLOOR PLAN (PARTIAL)  
1/4" = 1' - 0"



3156 THOMAS AVE.  
MONTGOMERY, ALABAMA 36106  
(334) 462-9014

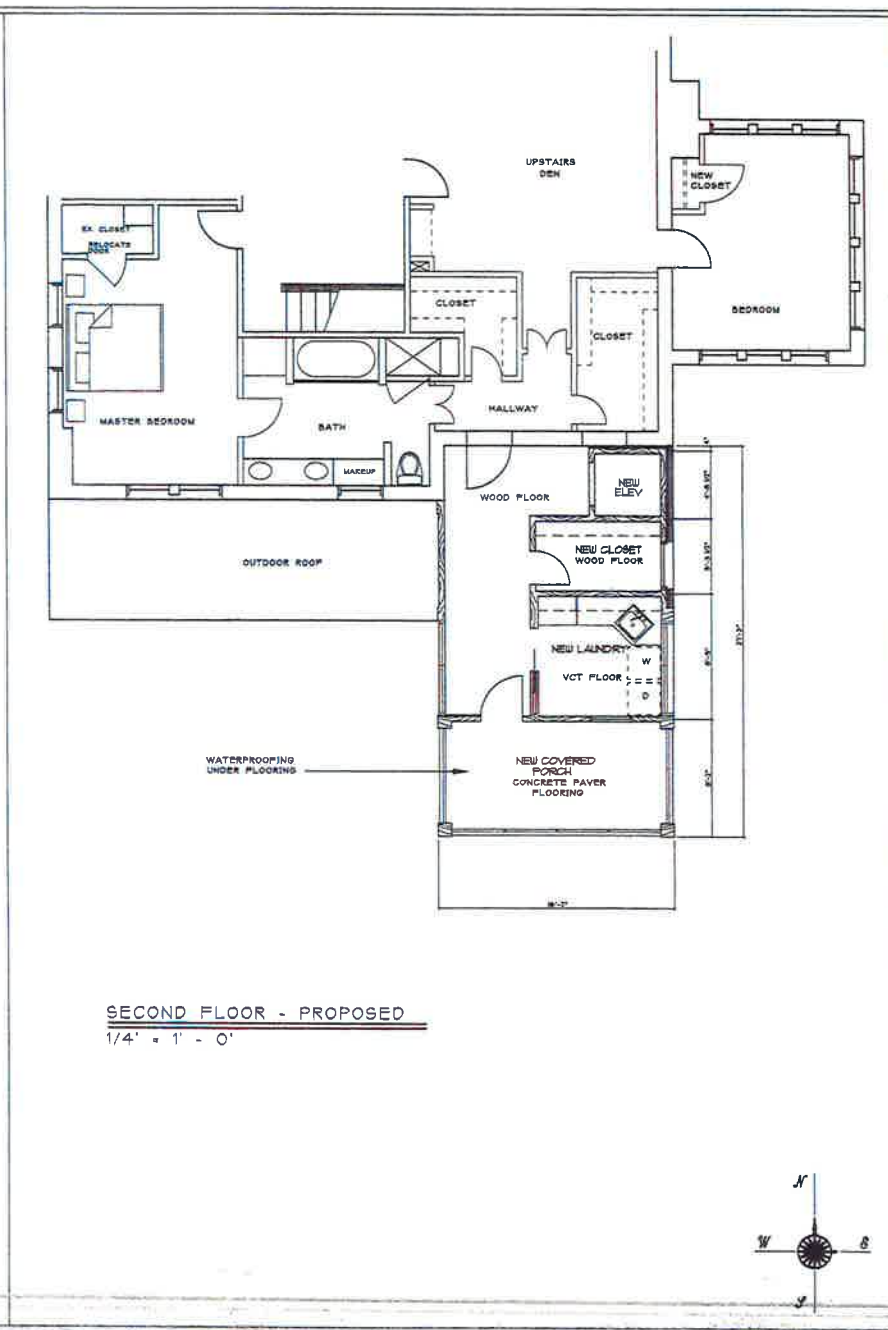
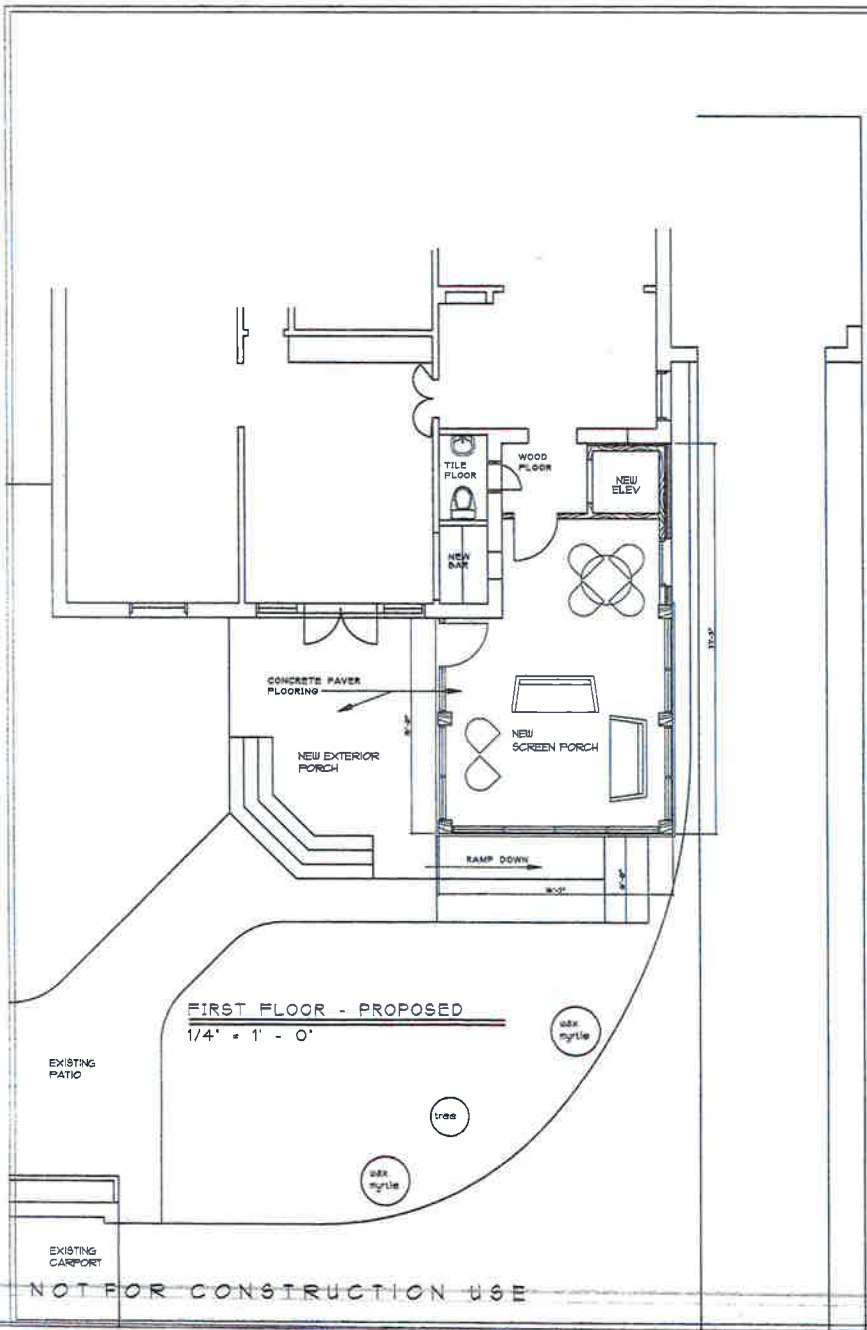
ALTERATIONS TO THE RESIDENCE OF  
MR. AND MRS. LARRY DIXON  
820 EAST FAIRVIEW AVENUE  
MONTGOMERY, ALABAMA

EXISTING FLOOR PLAN

A1

OCTOBER 24, 2014





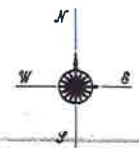
  
 3156 THOMAS AVE.  
 MONTGOMERY, ALABAMA 36106  
 (336) 462-9004

ALTERATIONS TO THE RESIDENCE OF  
 MR. AND MRS. LARRY DIXON  
 820 EAST FAIRVIEW AVENUE  
 MONTGOMERY, ALABAMA

PROPOSED FLOOR PLAN

A2

OCTOBER 24, 2014



NOT FOR CONSTRUCTION USE



3166 THOMAS AVE.  
MONTGOMERY, ALABAMA 36106  
(334) 462-9016

ALTERATIONS TO THE RESIDENCE OF  
MR. AND MRS. LARRY DIXON  
820 EAST FAIRVIEW AVENUE  
MONTGOMERY, ALABAMA

EXTERIOR ELEVATIONS

A3

OCTOBER 25, 2014



SOUTH (BACK) ELEVATION

1/4" = 1' - 0"



WEST (SIDE) ELEVATION PARTIAL

1/4" = 1' - 0"

EAST (SIDE) ELEVATION PARTIAL

1/4" = 1' - 0"

NOT FOR CONSTRUCTION USE

**10. PRESENTED BY:** Geary Powell

**SUBJECT:** Request for approval of front porch alterations and rear addition for the property located at 1215 Woodward Avenue (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to reopen the enclosed front porch. When the front porch was enclosed, the exterior wall was removed and the space incorporated into the living room. The porch changes would relocate the door from the current porch side to the front center of the house, add two windows, and add a vent in the main roof gable. The existing front porch columns are very tall brick piers with short square wood posts. The proposed options are:

- Retain the current pier and post height;
- Retain the current pier and post height and extend the main roof forward to add a third porch column and shakes in the gables (elevation 2);
- Retain the current pier and post height and add an open pergola cover where illustrated (elevation 3);
- Shorten the brick piers and install taller wood posts, and install the pergola cover to the left (elevation 4).

The petitioner is also requesting permission to remove an existing addition, and construct a new addition in approximately the same footprint to better match the style of the historic portion of the structure. Currently the addition is several steps below the finished floor height of the remainder of the house with a shed roof addition tacked onto the back slope of a roof hip. Windows and doors to match the original style of the house, with true divided or simulated divided lite wood or aluminum clad wood.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The tall brick porch piers are a distinctive feature of this house, and staff recommends that detail be retained (and not shortened) with the reopening of the porch.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1215 Woodward Avenue

**Geary Powell**

---

**From:** "Geary Powell" <gp@powerent.net>  
**To:** "Geary Powell" <gpbama@charter.net>  
**Sent:** Monday, September 22, 2014 2:37 PM  
**Attach:** IMG\_0673.JPG  
**Subject:** IMG\_0673.JPG



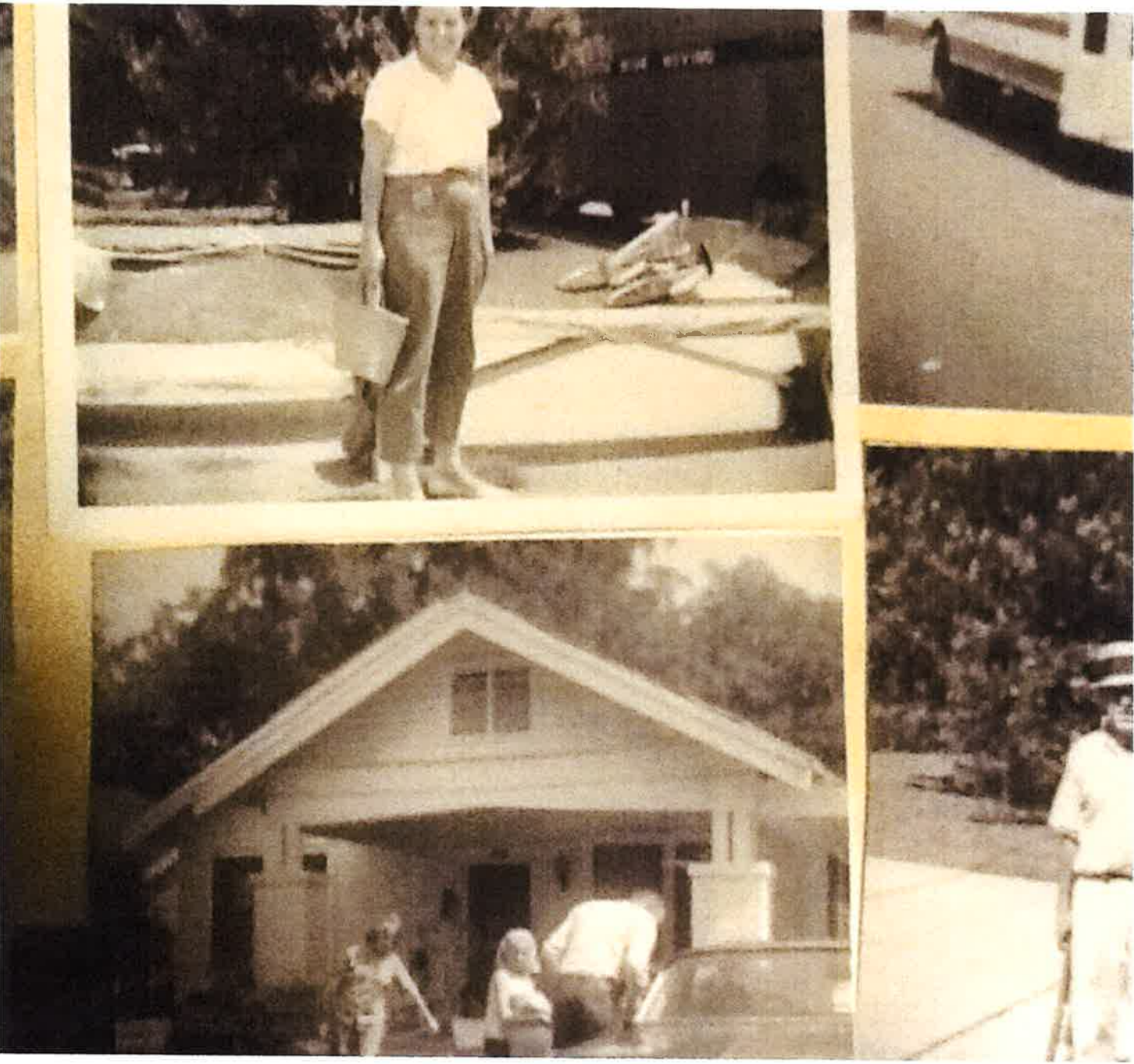
---

Sent from my iPhone. Geary Powell

**Gearly Powell**

---

**From:** "Bunny McKenzie" <bunny.mckenzie@gmail.com>  
**To:** <gp@powerent.net>  
**Sent:** Saturday, October 04, 2014 4:59 PM  
**Attach:** photo.JPG  
**Subject:** Woodward ave front





FRONT ELEVATION 1



FRONT ELEVATION 3

*Lap wood siding*



FRONT ELEVATION 2



FRONT ELEVATION 4

**Geary Powell**

---

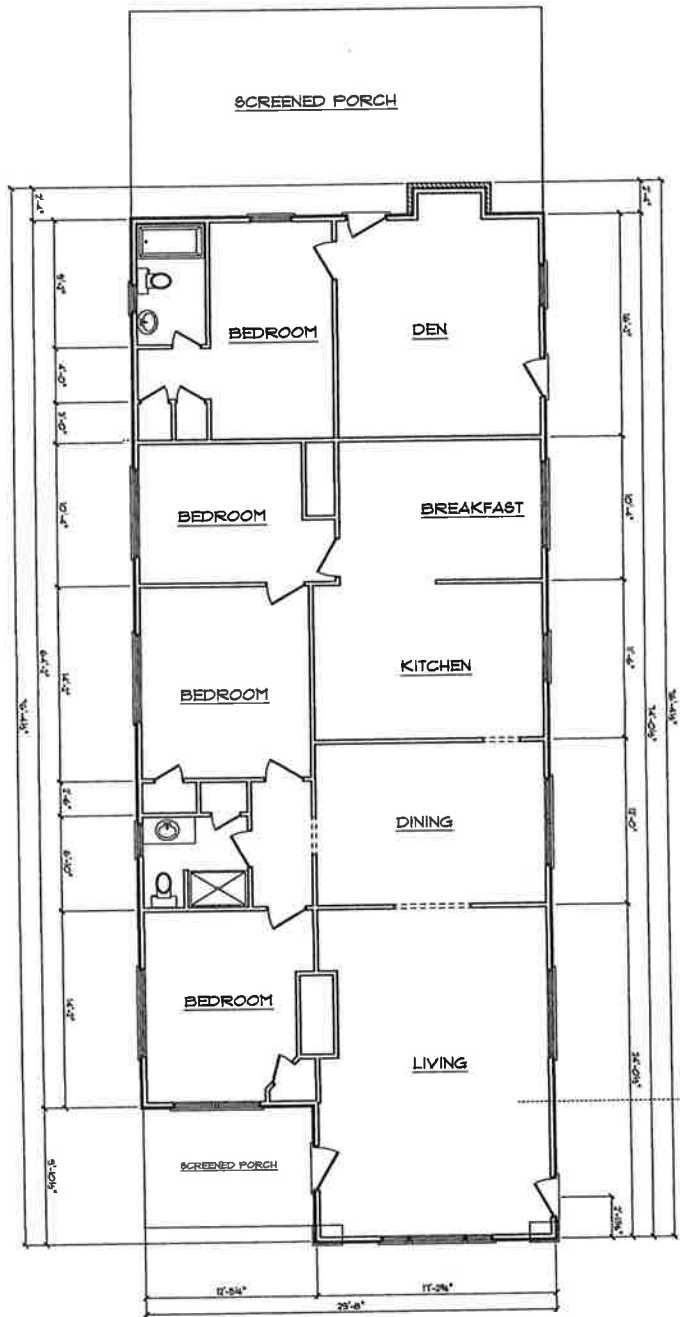
**From:** "Geary Powell" <gp@powerent.net>  
**To:** <gp@powerent.net>  
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**Attach:** photo.JPG  
**Subject:** Woodward



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Sent from my iPhone. Geary Powell





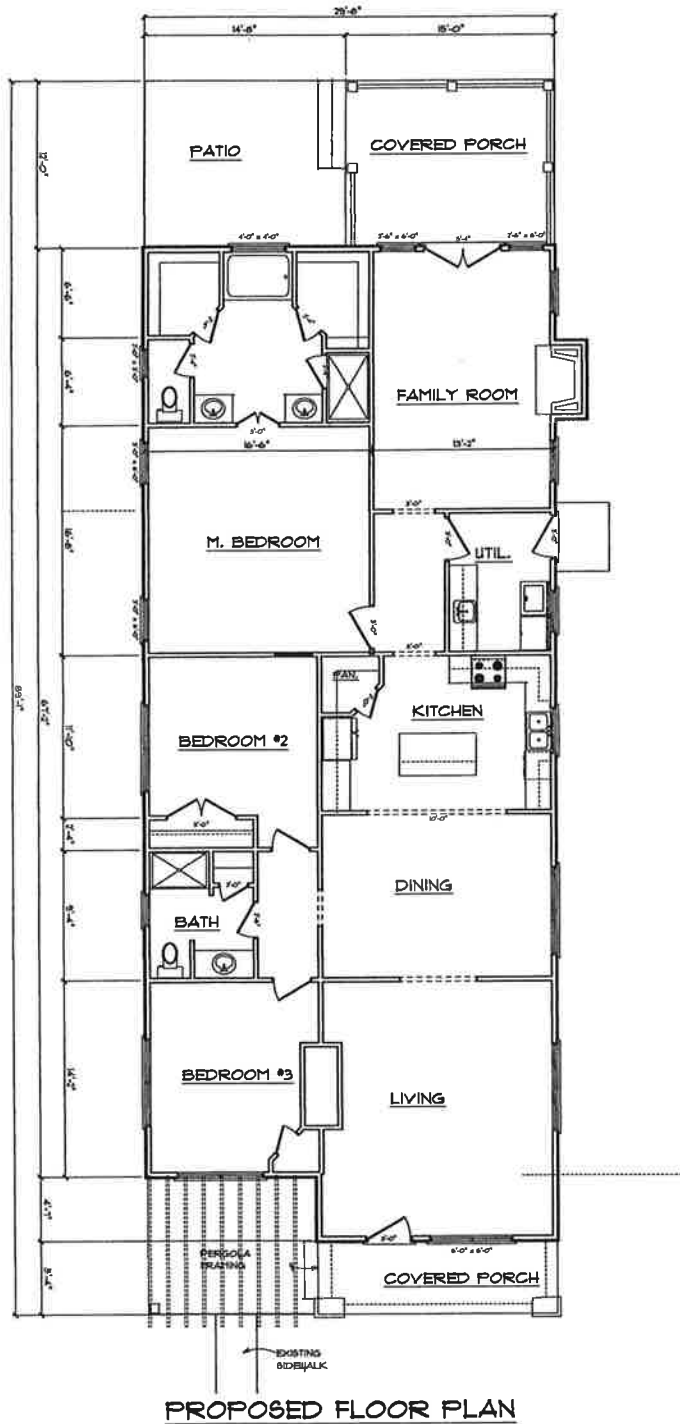
**EXISTING FLOOR PLAN**

DATE: 22 OCT 14  
 JOB NUMBER: 14-0213  
 DRAWING NUMBER: 1

RENOVATIONS TO A HOME AT:  
**1215 WOODWARD AVE.**  
 MONTGOMERY, ALABAMA

**KIMBALL SCROGGINS**  
 RESIDENTIAL DESIGNS  
 8111 OLD FEDERAL ROAD  
 MONTGOMERY, ALABAMA 36117  
 PHONE: (334) 214-8006

**FOR ARCHITECTURAL REVIEW ONLY**



NOTE: BUILDER MUST CONFIRM WINDOW AND DOOR  
ROUGH OPENING MEASUREMENTS AND EGRESS CODE  
REQUIREMENTS PRIOR TO FRAMING.

DATE	21 OCT 14
JOB NUMBER	14-053
REVISION	
SHEET NO.	2
OF	5

RENOVATIONS TO A HOME AT:
<b>1215 WOODWARD AVE.</b>
MONTGOMERY, ALABAMA

<b>KIMBALL SCROGGINS</b> RESIDENTIAL DESIGNS 8111 OLD FEDERAL ROAD MONTGOMERY, ALABAMA 36111 PHONE: (334) 214-9006
--

<b>FOR ARCHITECTURAL REVIEW ONLY</b>
--



FRONT ELEVATION 1



FRONT ELEVATION 3



FRONT ELEVATION 2



FRONT ELEVATION 4

FRONT ELEVATION OPTIONS

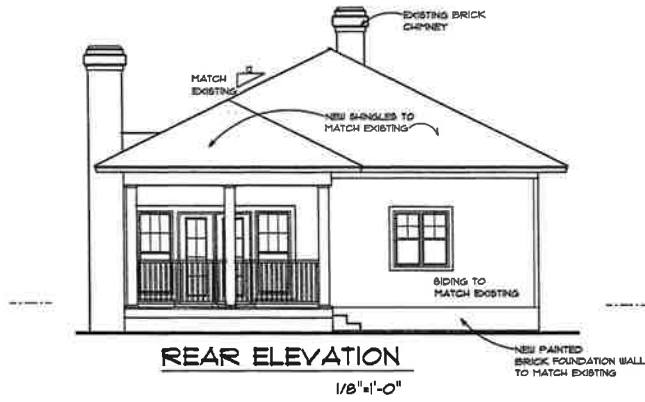
FOR ARCHITECTURAL  
REVIEW ONLY

KIMBALL SCROGGINS  
RESIDENTIAL DESIGNS  
871 OLD FEDERAL ROAD  
MONTGOMERY, ALABAMA 36117  
PHONE: (334) 274-5006

RENOVATIONS TO A HOME AT:  
**1215 WOODWARD AVE.**  
MONTGOMERY, ALABAMA

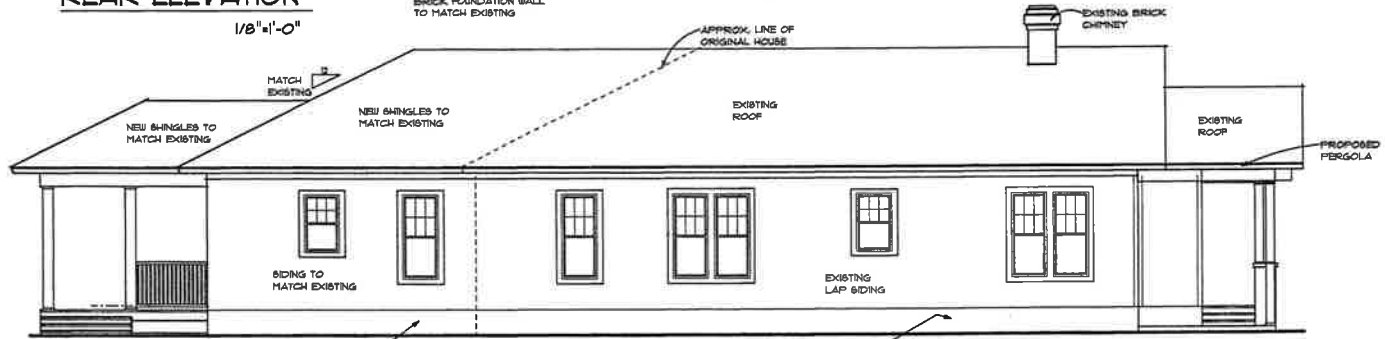
DATE:  
22 OCT 14  
JOB NUMBER:  
14-053  
REVISED:

SHEET NO.: 3  
OF: 5



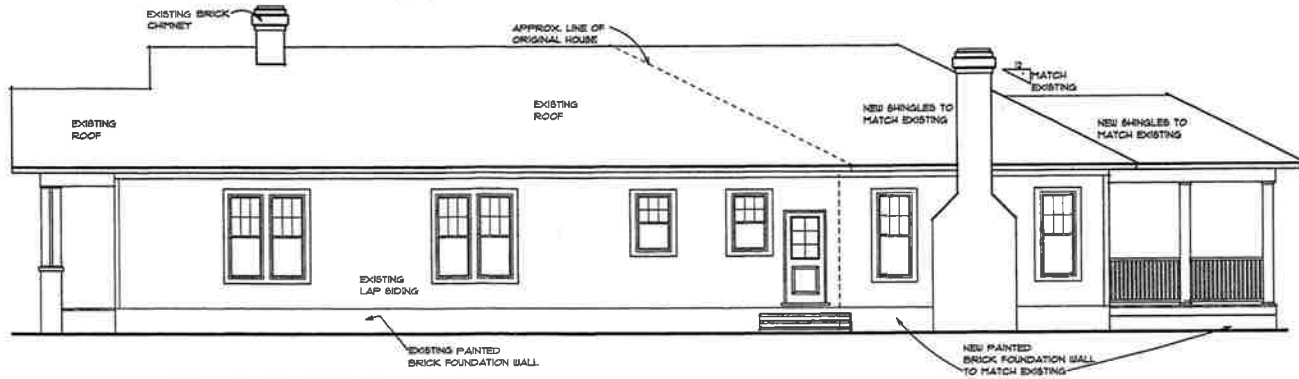
**REAR ELEVATION**

1/8"=1'-0"



**LEFT SIDE ELEVATION**

1/8"=1'-0"



**RIGHT SIDE ELEVATION**

1/8"=1'-0"

FOR ARCHITECTURAL  
REVIEW ONLY

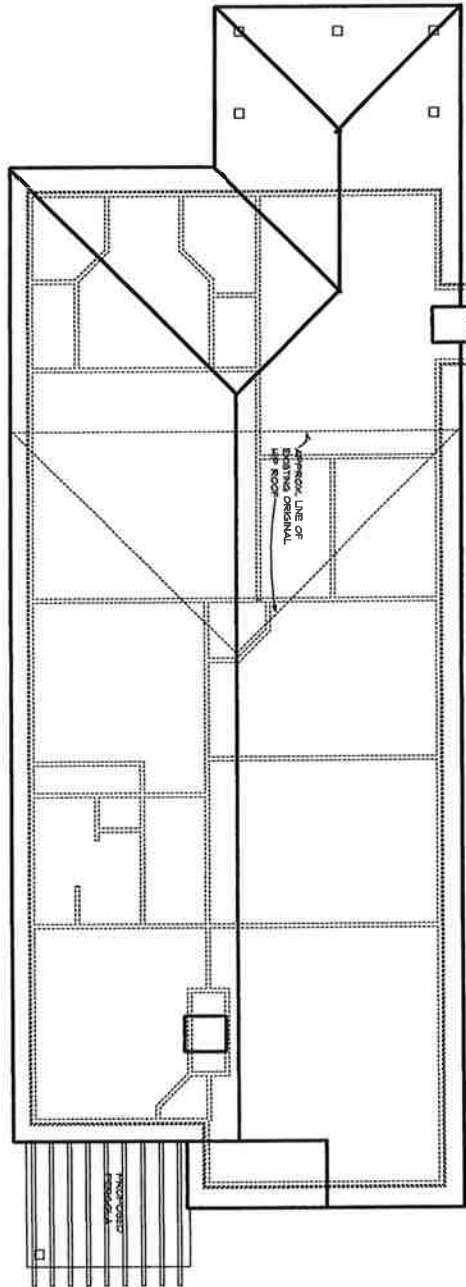
KIMBALL SCROGGINS  
RESIDENTIAL DESIGNS  
811 OLD FEDERAL ROAD  
MONTGOMERY, ALABAMA 36117  
PHONE: (334) 774-1006

RENOVATIONS TO A HOME AT  
1215 WOODWARD AVE.  
MONTGOMERY, ALABAMA

DATE:	22 OCT 14
JOB NUMBER:	14-093
REVISED:	

SHEET NO.:	4
OF	5

ROOF PLAN



SHEET NO. <b>5</b>	DATE 27 OCT 14	RENOVATIONS TO A HOME AT: <b>1215 WOODWARD AVE.</b>	<b>KIMBALL SCROGGINS</b> <b>RESIDENTIAL DESIGNS</b> 8111 OLD FEDERAL ROAD MONTGOMERY, ALABAMA 36117 PHONE: ( 334 ) 214 - 9006	<b>FOR ARCHITECTURAL          REVIEW ONLY</b>
		JOB NUMBER 14-003		

**11. PRESENTED BY:** Tara Sartorius

**SUBJECT:** Request for approval of front porch, rear addition, and tree removal for the property located at 115 Hanrick Street (Cottage Hill).

**REMARKS:** The petitioner is requesting permission to:

- Rebuild the covered front porch with the roof and balustrade as illustrated, porch roof to be architectural tab shingles;
- Replace windows with 2 over 2 aluminum clad wood Weathershield windows with a white finish;
- Paint palette colors 15 (body); 22 (trim); and 18 (accent);
- Construct an addition at the rear of the one story house. Two options are proposed:
  - Add a single story 770 square foot addition that would be connected to the main structure by an enclosed passage way as illustrated. The addition will include a handicap accessible ramp, and sided to match the original, the proposed windows on the south and west elevations are clerestory, with other windows to be 2 over 2 as noted above; and a galvanized metal roof is proposed (no crimp pattern provided);
  - Add a two story addition in the same footprint, as illustrated.
- Remove a tree growing in the retaining wall on the south property line.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The Board needs to determine if the size and scale of either addition option is compatible with the single story historic portion of the structure.
- No objection to the tree removal.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



115 Harrick Street



115 Hanrick Street





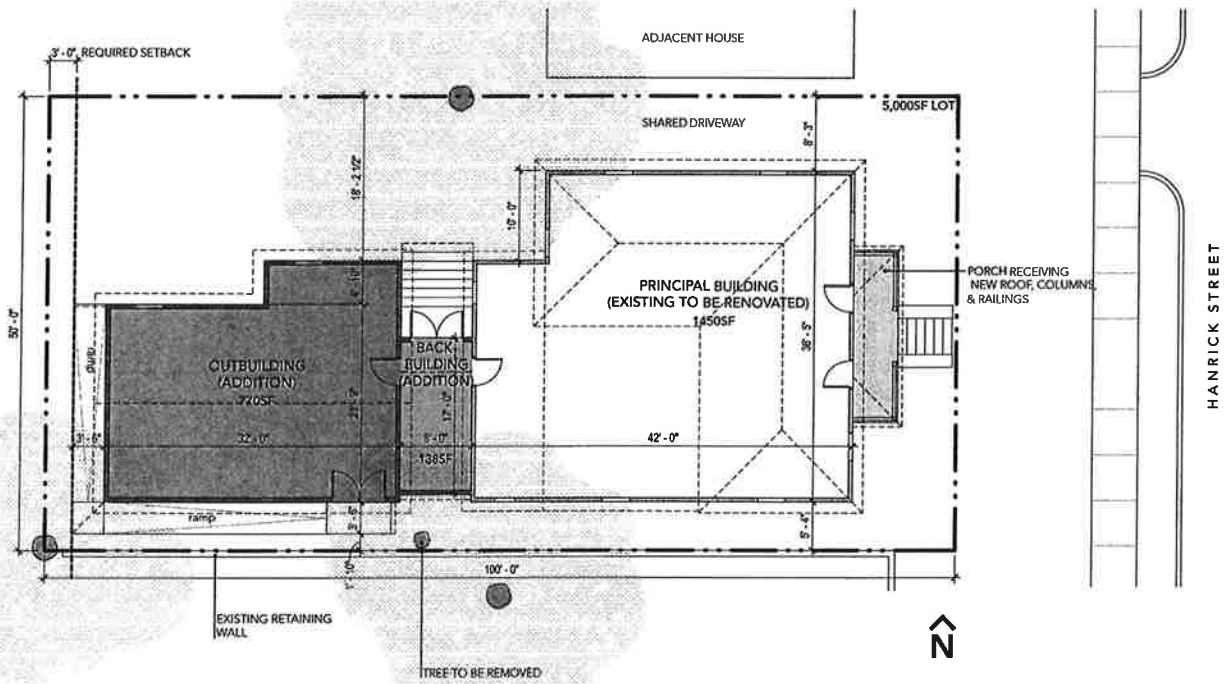
115 Harrick Street

ADDITIONS/RENOVATIONS TO  
115 HANRICK STREET

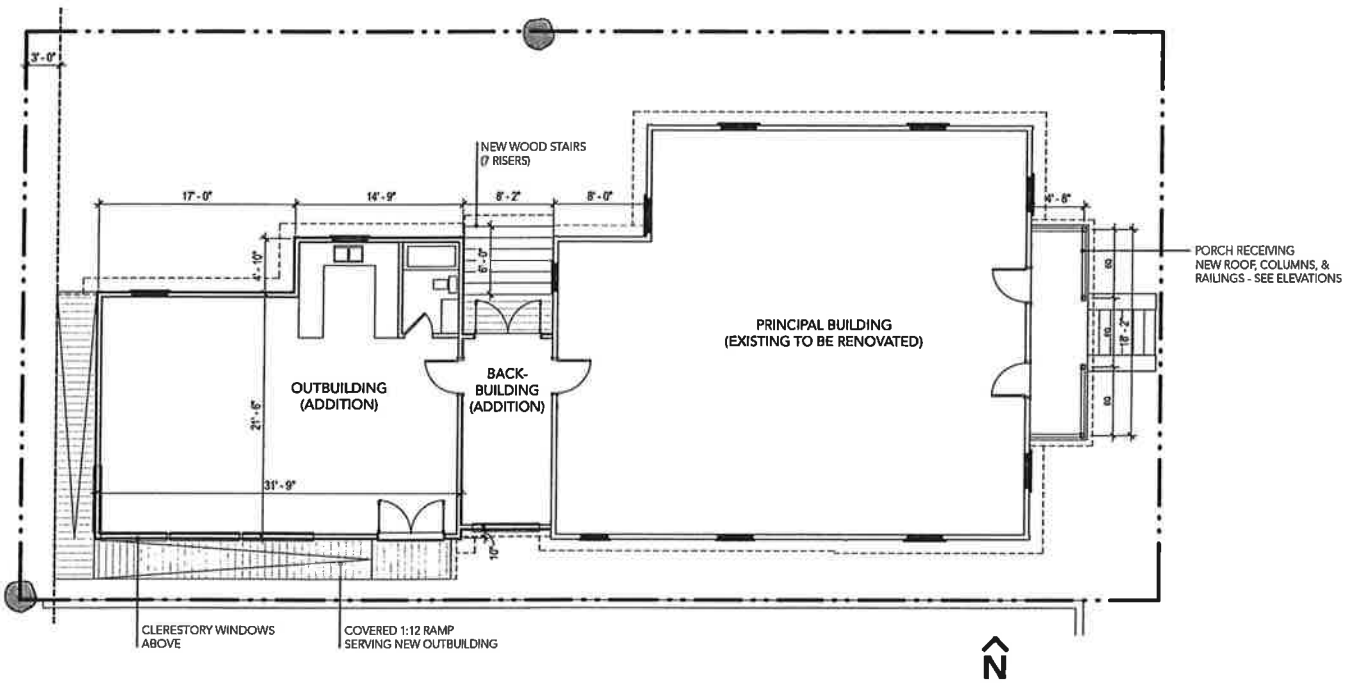
10.24.14

SITE PLAN  
SCALE: 1"=10'

COMBINED BUILDING AREA:  
1450 + 138 + 770 = 2358 (47% LOT COVERAGE)



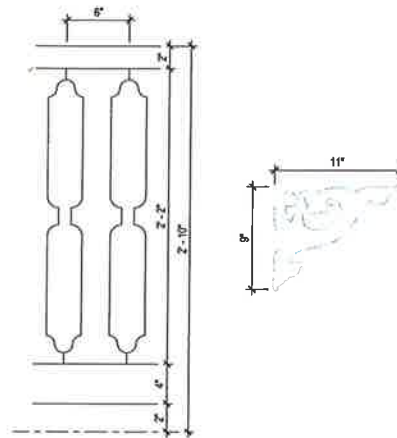
HANRICK STREET



EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'



**EAST/FRONT ELEVATION**  
(new roof, columns, railings)



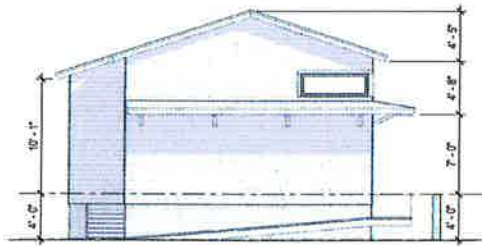
**NORTH ELEVATION**

(EXISTING PRINCIPAL BUILDING)

(BACK-BUILDING  
ADDITION)

(OUTBUILDING ADDITION)

EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'



**WEST/BACK ELEVATION**  
(outbuilding addition)



ALL SHIPLAP SIDING

15

703



ALL TRIM, COLUMNS, BRACKETS,  
ORNAMENT, ETC.

18

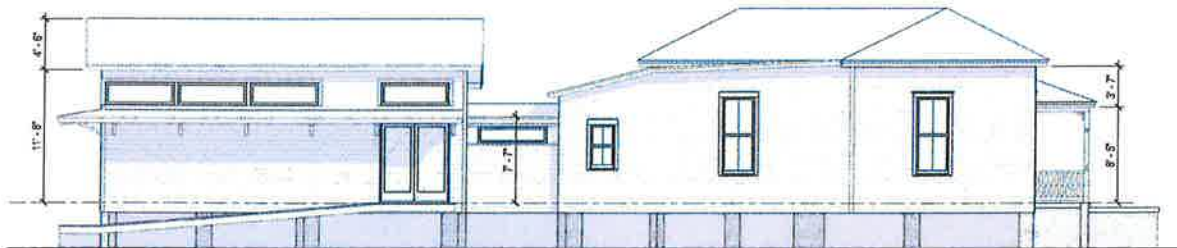
950



WINDOW SASHES & DOORS

22

1474



**NORTH ELEVATION**  
(OUTBUILDING ADDITION)

(BACK-BUILDING  
ADDITION)

(EXISTING PRINCIPAL BUILDING)





PERSPECTIVE - SOUTH ELEVATION  
(VIEW FROM HANRICK)







WEST/BACK ELEVATION  
(outbuilding addition)



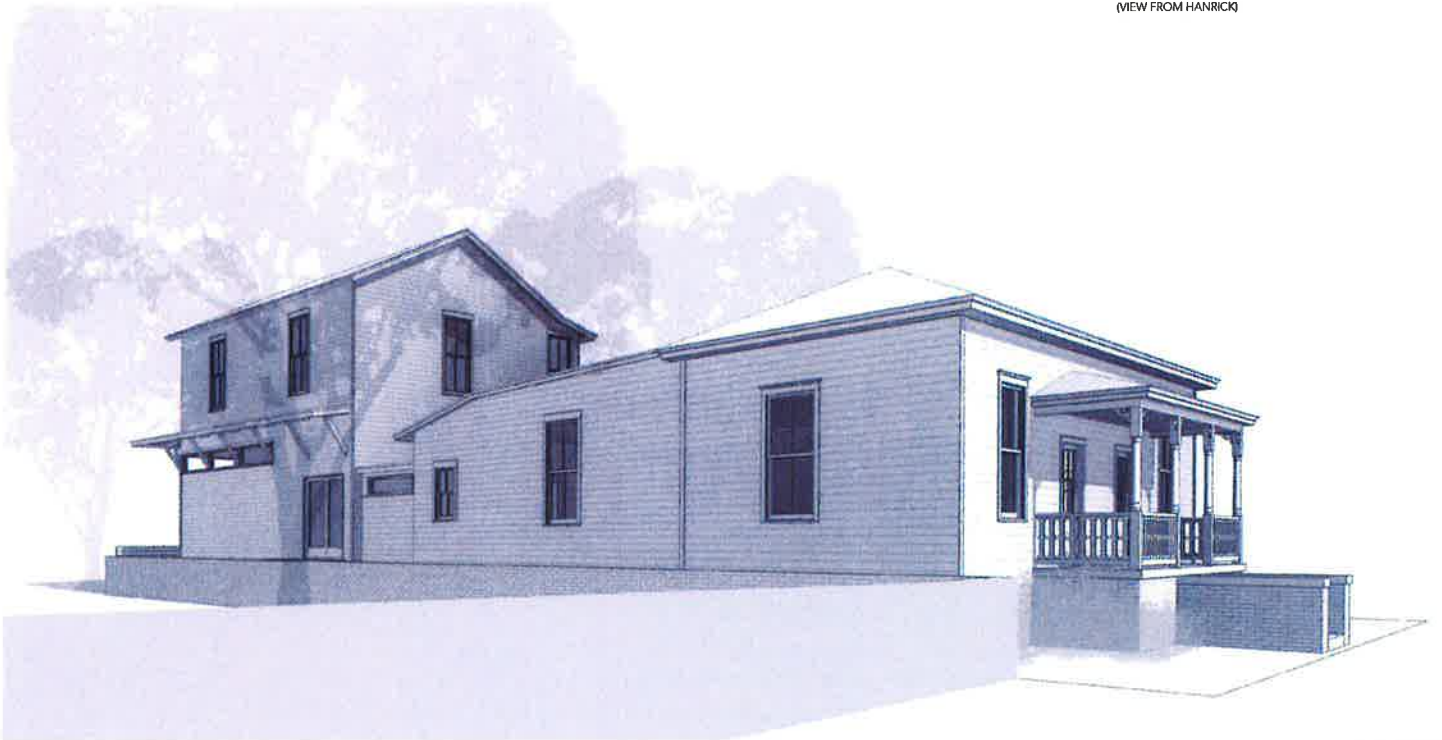
(OUTBUILDING ADDITION)  
NORTH ELEVATION

(BACK-BUILDING  
ADDITION)

(EXISTING PRINCIPAL BUILDING)



PERSPECTIVE - SOUTH ELEVATION - 2-STORY OP-  
TION  
(VIEW FROM HANRICK)



SITE PHOTOS



**12. PRESENTED BY:** Ewell Crump

**SUBJECT:** Request for approval of front entry, addition, and deck for the property located at 2129-A Madison Avenue (Capitol Heights).

**REMARKS:** The petitioner is requesting permission to install a new entrance, porch and deck to the front of the structure; and build a 16'x26' addition to the east side of the structure as illustrated. Siding, paint, and roofing to match the existing materials. Photos of the entry door and window proposed for the east elevation are attached. The windows located on the front of the building will be relocated to the front elevation of the addition. Porch brackets will be constructed of 4"x4" or 6"x6" wood, with a 4' overhang. The entry/foyer is 10'x8', deck is 6'x14' and 6'x8' with steps up.

The hackberries noted on the site plan were approved by the Urban Forester for removal because of their condition.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- This building sits at the rear of the lot. Even if the existing gate structure was removed, it would be difficult to view from the street.
- The building does not appear on the Sanborn maps, but the county records indicate it may be from 1920.
- The Board needs to determine if the proposed door and window changes are appropriate.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



View from Madison Avenue



2129-A Madison Avenue



2129-A Madison Avenue



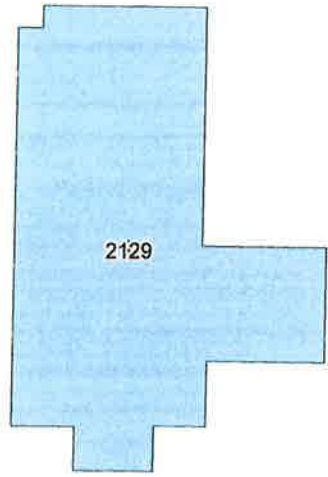
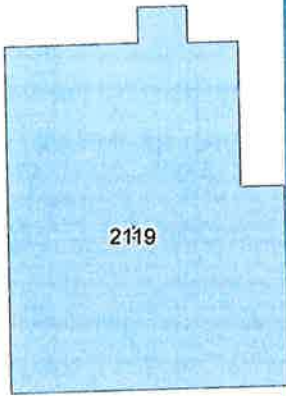
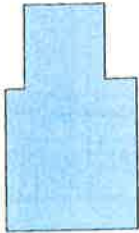
Proposed entry



Proposed east elevation window

*2129-A Madison Avenue*



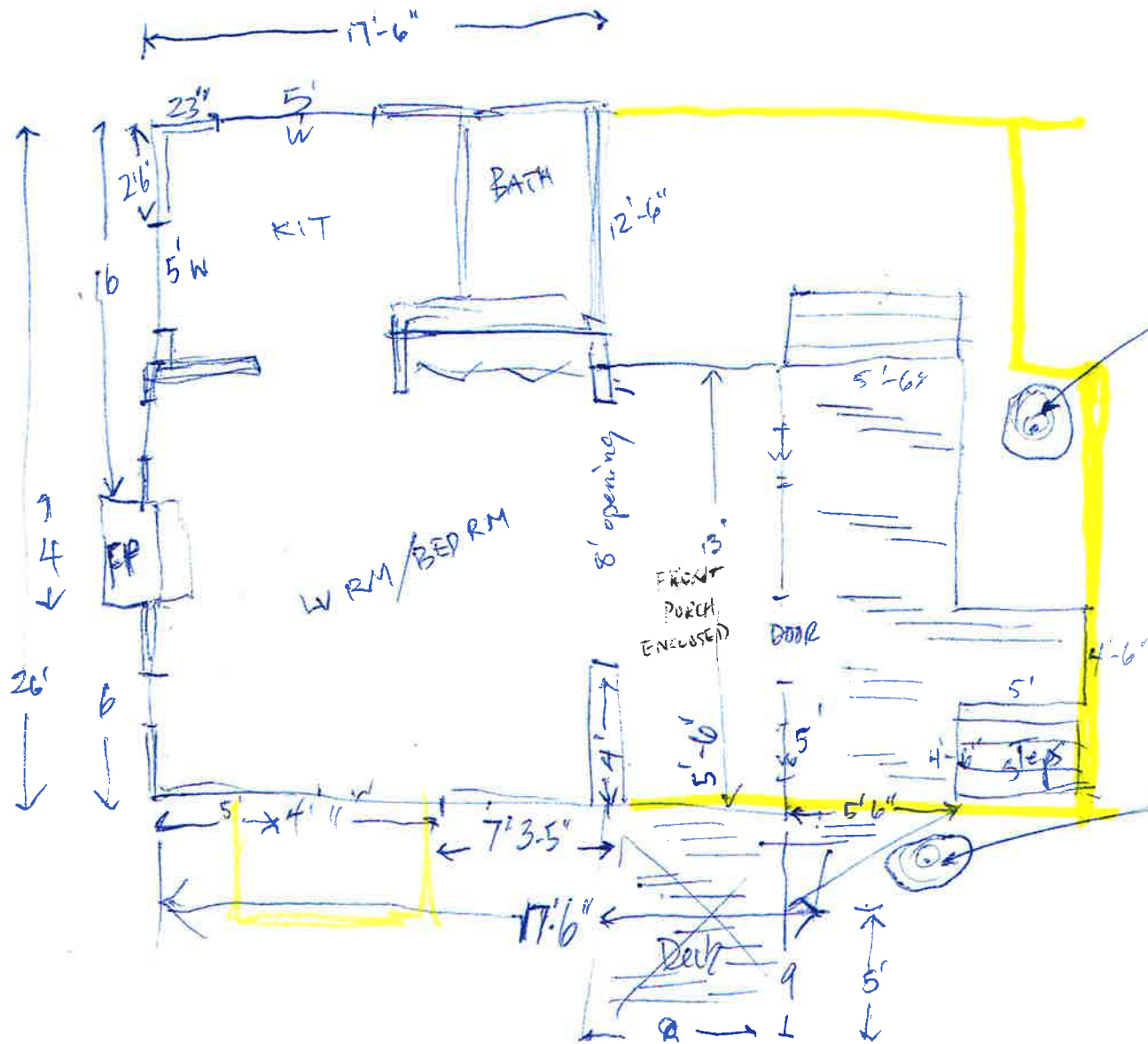


2129-A



MADISON AVE

variance may be needed  
25 Washington Ave 4<sup>th</sup> FL  
Christy Anderson/Tanya  
eled turn rt.



**PROPOSED**

